

# MONTGOMERY COUNTY PUBLIC SAFETY FACILITY SHOWER RENOVATIONS

200 CLARK DRIVE, FULTONVILLE, NY 12072

ISSUED FOR BID | OWNER'S BID NO. 12-24 - 4/24/24

## ARCHITECTURAL ABBREVIATIONS

THIS ABBREVIATION LIST IS A STANDARD AND NOT ALL ABBREVIATIONS ARE NECESSARILY USED ON THIS PROJECT

@	AT	GA	GAUGE OR GYPSUM ASSOCIATION
CL or	CENTERLINE	GL	GLASS
DIA or	DIAMETER	GR	GRADE
#	NUMBER OR POUND	GND	GROUND
AB.	ABOVE	GYP	GYPSUM
AFF	ABOVE FINISH FLOOR	GWB	GYPSUM WALL BOARD
AP	ACCESS PANEL	HCP	HANDICAPPED
ACT	ACOUSTICAL CEILING TILE	HDWR	HARDWARE
ADJ	ADJUSTABLE	HD	HEAVY DUTY
AGG	AGGREGATE	HGT	HEIGHT
ALT	ALTERNATE	H	HIGH
ALUM	ALUMINUM	HC	HOLLOW CORE
AB	ANCHOR BOLT	HM	HOLLOW METAL
ANC	ANCHOR	HORIZ	HORIZONTAL
APPROX	APPROXIMATELY	ID	INSIDE DIAMETER
ARCH	ARCHITECTURAL	INSUL	INSULATION
ACM	ASBESTOS CONTAINING MATERIAL	INT	INTERIOR
BSMT	BASEMENT	JT	JOINT
BRG	BEARING	JST	JOIST
BM	BEAM	L	LENGTH
B.M.	BENCH MARK	LVL	LEVEL
BFF	BELOW FINISH FLOOR	LT	LIGHT
BITUM	BITUMINOUS	LF	LINEAL FEET
BLK	BLOCK	LKR	LOCKER
BD	BOARD	LLH	LONG LEG HORIZONTAL
B.O.	BOTTOM OF	LLV	LONG LEG VERTICAL
BOT	BOTTOM	LB	POUND
BLDG	BUILDING	MH	MANHOLE
BCNYS	BUILDING CODE OF NEW YORK STATE	MFR	MANUFACTURER
CAB	CABINET	MAS	MASONRY
CAR	CARPET	MO	MASONRY OPENING
CIP	CAST IN PLACE	MAT	MATERIAL
CI	CAST IRON	MAX	MAXIMUM
CB	CATCH BASIN	MECH	MECHANICAL
CLKG	CAULKING	MC	MECHANICAL CONTRACTOR
CLG	CEILING	MTL	METAL
CEM	CEMENT	MTL PNL	METAL PANEL
CTR	CENTER	M	METER
CL	CENTER LINE	MEZZ	MEZZANINE
CER	CERAMIC	MM	MILLIMETER
CG	CORNER GUARD	MIN	MINIMUM
CT	CERAMIC TILE	MIR	MIRROR
CO	CLEAN OUT	MISC	MISCELLANEOUS
CLR	CLEAR	MR-GWB	MOISTURE RESISTANT GYP. WALL BD.
CCTV	CLOSED CIRCUIT TELEVISION	MTD	MOUNTED
CLOS	CLOSE	MUL	MULLION
COL	COLUMN	(N)	NEW
CONC	CONCRETE	NOM	NOMINAL
CMU	CONCRETE MASONRY UNIT	NIC	NOT IN CONTRACT
CONN	CONNECTION	NTS	NOT TO SCALE
CONST	CONSTRUCTION	NO	NUMBER
CONT	CONTINUOUS	OFF	OFFICE
CJ	CONTROL JOINT	OC	ON CENTER
COORD	COORDINATE	OPNG	OPENING
CORR	CORRIDOR	OPP	OPPOSITE
CYL	CYLINDER	OJ	OVER
(D)	DEMOLISH	OA	OVER ALL
DEPT	DEPARTMENT	OH	OVERHEAD
DET	DETAIL	PTD	PAINTED
Ø	DIAMETER	PR	PAIR
DIM	DIMENSION	PTN	PARTITION
DISP	DISPENSER	PVG	PAVING
DR	DOOR	PLAS	PLASTIC or PLASTER
DO	DOOR OPENING	P LAM	PLASTIC LAMINATE
DBL	DOUBLE	PL	PLATE
DN	DOWN	PLMB	PLUMBING
DWG	DRAWING	PT	POINT OR PRESSURE TREATED
DSP	DRY STANDPIPE	PSF	POUNDS PER SQUARE FOOT
EA	EACH	PSI	POUNDS PER SQUARE INCH
EW	EACH WAY	QTY	QUANTITY
E	EAST	RD	ROOF DRAIN
ELEC	ELECTRICAL	REC	RECESSED
EL	ELEVATION	REF	REFERENCE
ELEV	ELEVATOR	REINF	REINFORCED
EMER	EMERGENCY	REL	RELOCATE RISER
ENCL	ENCLOSED	(R)	REMOVE
EP	EPOXY	REQD	REQUIRED
EQ	EQUAL	REFL	REFLECTED CEILING PLAN
EQUIP	EQUIPMENT	RM	ROOM
EXH	EXHAUST	RO	ROUGH OPENING
(E)	EXISTING	SJ	SAWCUT JOINT
EXIST	EXISTING	SCHED	SCHEDULE
ETR	EXISTING TO REMAIN	SECT	SECTION
EBCNYS	EXISTING BUILDING CODE OF NYS	SHT	SHEET
EXP	EXPANSION	SIM	SIMILAR
EJ	EXPANSION JOINT	STC	SOUND TRANSMISSION CLASS
EXPO	EXPOSED	SPEC	SPECIFICATION
EXT	EXTERIOR	SQ	SQUARE
EIFS	EXTERIOR INSULATED FINISH SYSTEM	SF	SQUARE FEET
FOS	FACE OF STUD	SS	STAINLESS STEEL
FM	FACTORY MUTUAL	STD	STANDARD
FFU	FAN FILTER UNIT	STL	STEEL
FCB	FIBER CEMENT BOARD	STOR	STORAGE
FG	FIBERGLASS	STRUC	STRUCTURAL
FIN	FINISH	SUSP	SUSPENDED
FA	FIRE ALARM	SYM	SYMMETRICAL
FDC	FIRE DEPT. CONN.	THK	THICKNESS
FE	FIRE EXTINGUISHER	THRES	THRESHOLD
FEC	FIRE EXTINGUISHER CABINET	T.O.	TOP OF
FH	FIRE HYDRANT	TYP	TYPICAL
FLR	FLOOR	UNO	UNLESS NOTED OTHERWISE
FD	FLOOR DRAIN	VIF	VERIFY IN FIELD
FT	FOOT OF FEET	VERT	VERTICAL
FTG	FOOTING	WT	WEIGHT
FDN	FOUNDATION	W/	WITH
(F)	FUTURE	W/O	WITHOUT
GALV	GALVANIZED	WD	WOOD

## MONTGOMERY COUNTY

### COUNTY ANNEX BUILDING

P.O. BOX 1500  
20 PARK STREET  
FONDA, NY 12068-1500

LEGISLATOR DISTRICT 1  
LEGISLATOR DISTRICT 2  
LEGISLATOR DISTRICT 3  
LEGISLATOR DISTRICT 4  
LEGISLATOR DISTRICT 5  
LEGISLATOR DISTRICT 6  
LEGISLATOR DISTRICT 7  
LEGISLATOR DISTRICT 8  
LEGISLATOR DISTRICT 9

MARTIN P. KELLY  
BRIAN D. SWEET  
HERBERT T. ALLEN  
ROBERT HEADWELL, JR.  
DANIEL P. WILSON  
CHAD J. MAJEWSKI  
MICHAEL J. PEPE  
MARIA KOWALCZYK  
ROBERT A. PURTELL

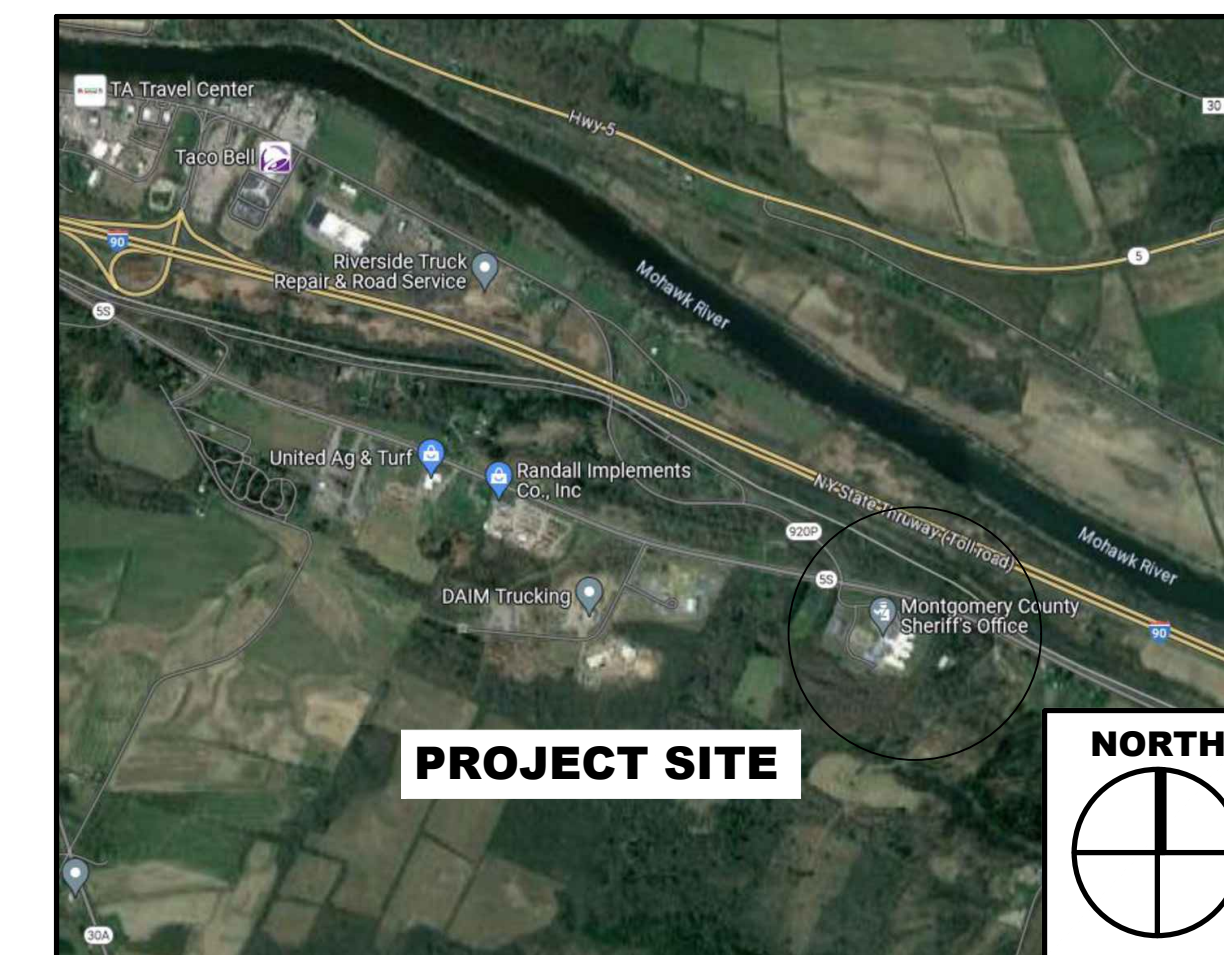
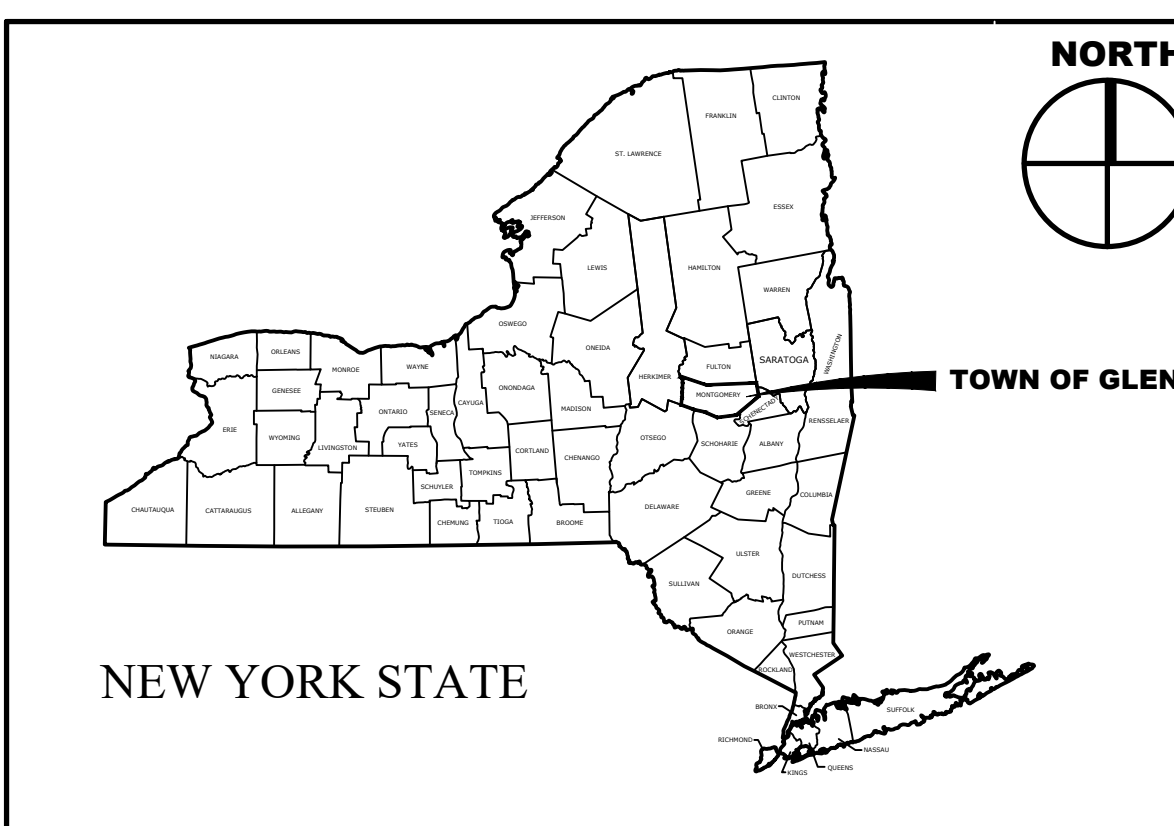
### COUNTY SHERIFF'S OFFICE

JEFFERY T. SMITH  
SHERIFF

CARL J. RUST  
UNDER-SHERIFF

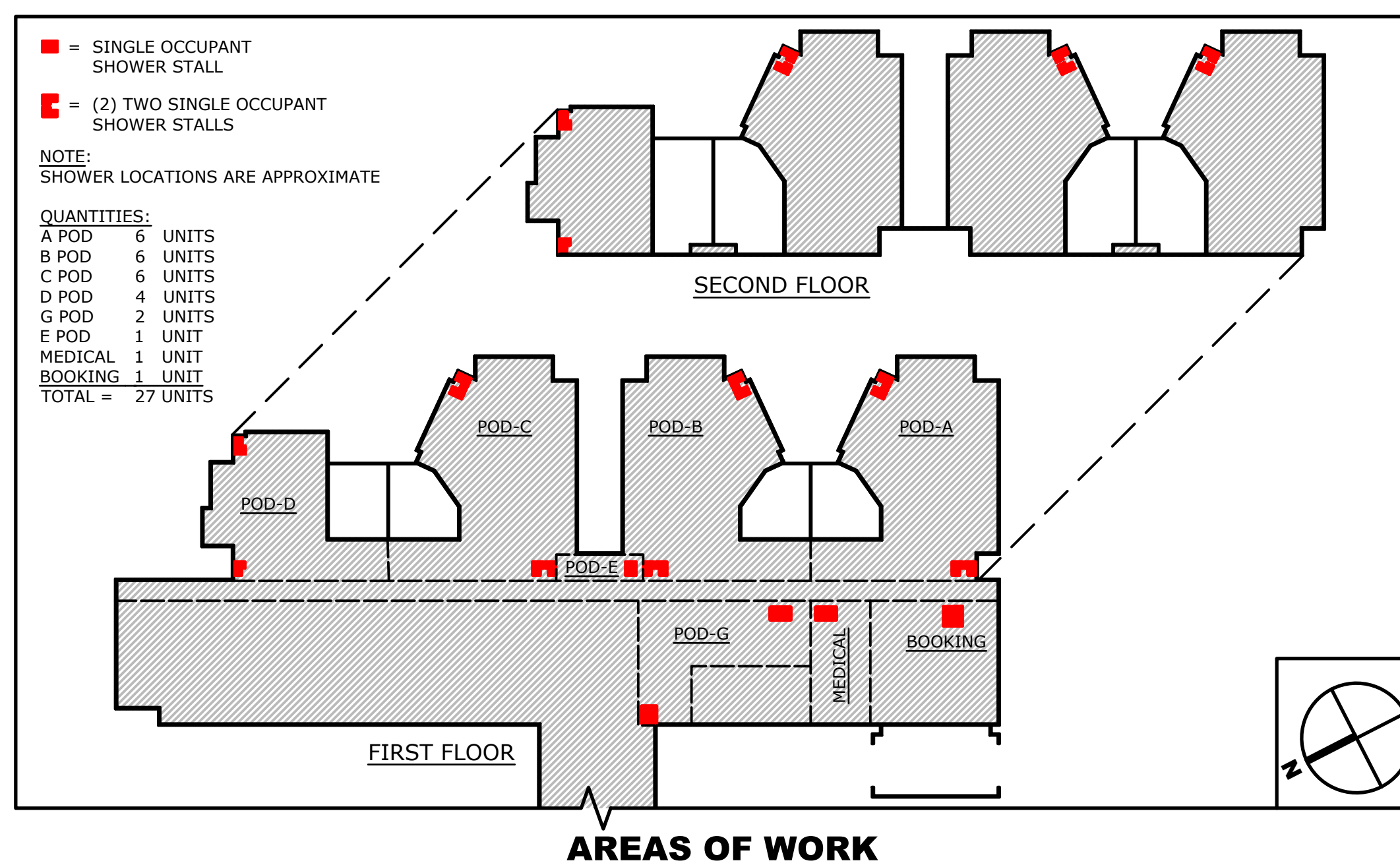
### DEPARTMENT OF PUBLIC WORKS

ERIC M. MEAD  
COMMISSIONER OF PUBLIC WORKS



## ARCHITECTURAL SYMBOLS LIST

	PHOTO TAG		WINDOW TAG
	SECTION TAG		CONSTRUCTION NOTE TAG
	DETAIL TAG		DOOR TAG
	WALL TYPE TAG		ROOM IDENTIFICATION TAG
	INTERIOR ELEVATION TAG		SECTION (NUMBER) OR DETAIL (NUMBER) DESIGNATION
			SHEET NUMBER WHERE SECTION OR DETAIL IS LOCATED



## SITE LOCATION MAP

## DRAWING LIST

SHEET ID	SHEET TITLE	SHEET NUMBER
G-001	COVER SHEET	01
G-002	ACCESSIBILITY DETAILS	02
AD-101	DEMOLITION FLOOR PLANS & ELEVATIONS	03
AE-201	DEMOLITION PHOTOGRAPHS	04
A-101	SHOWER FLOOR PLANS	05
A-201	SHOWER ELEVATIONS	06

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C.T. MALE ASSOCIATES

WARNING: IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. ARCHITECTURE - COMMISSIONER'S REGULATIONS PART 69.5.

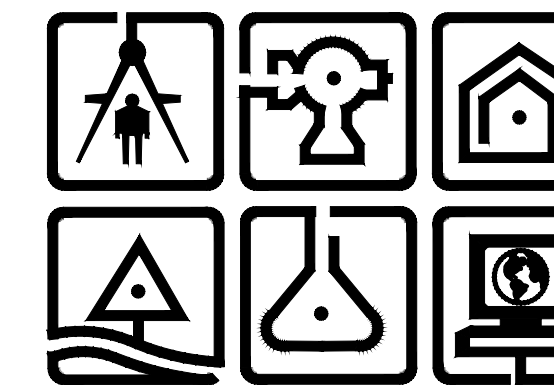
WARNING: IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. PROFESSIONAL ENGINEERING AND LAND SURVEYING - ART. 145, SECTION 7209

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DRAWING NO. 24-0294

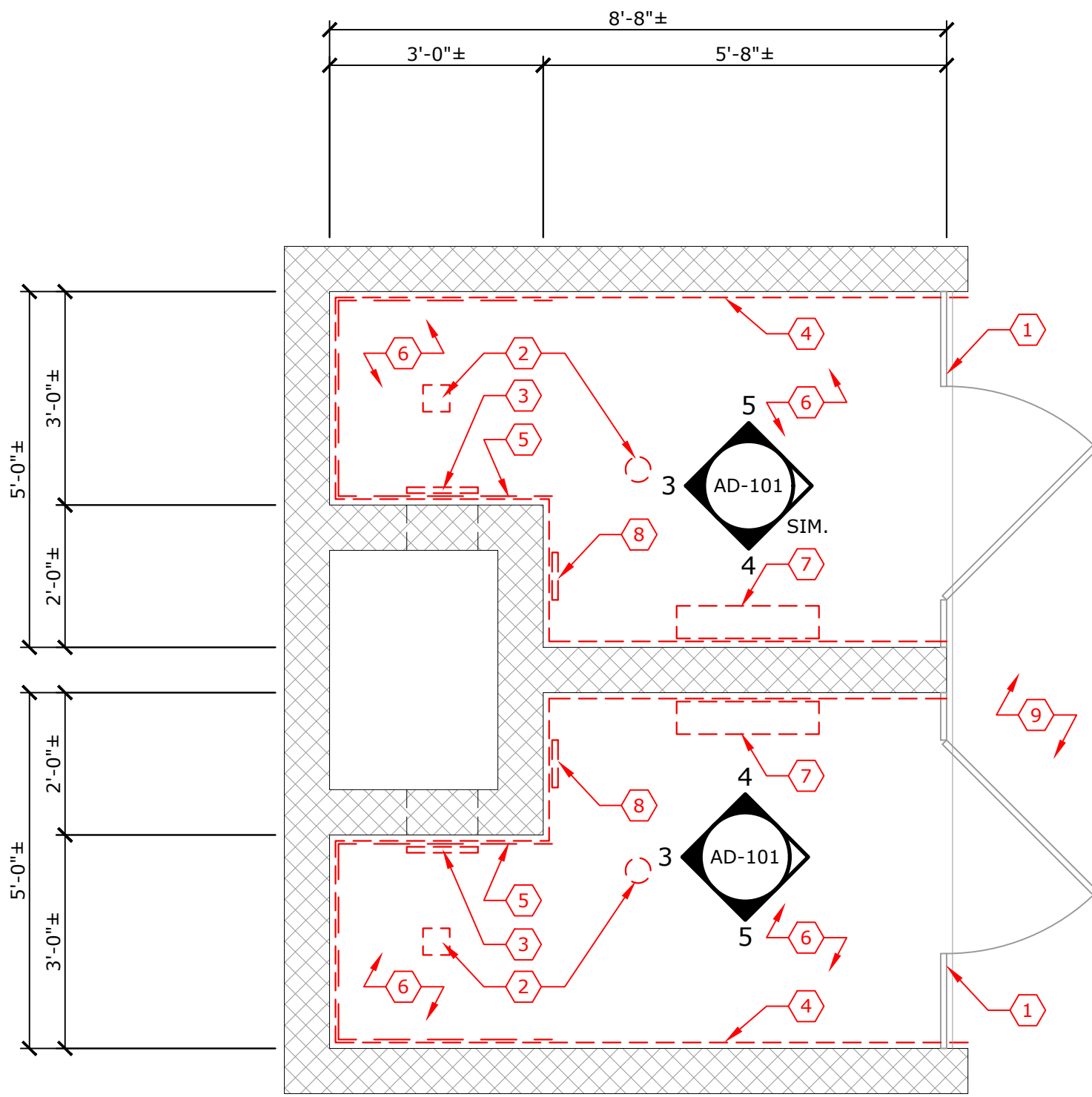
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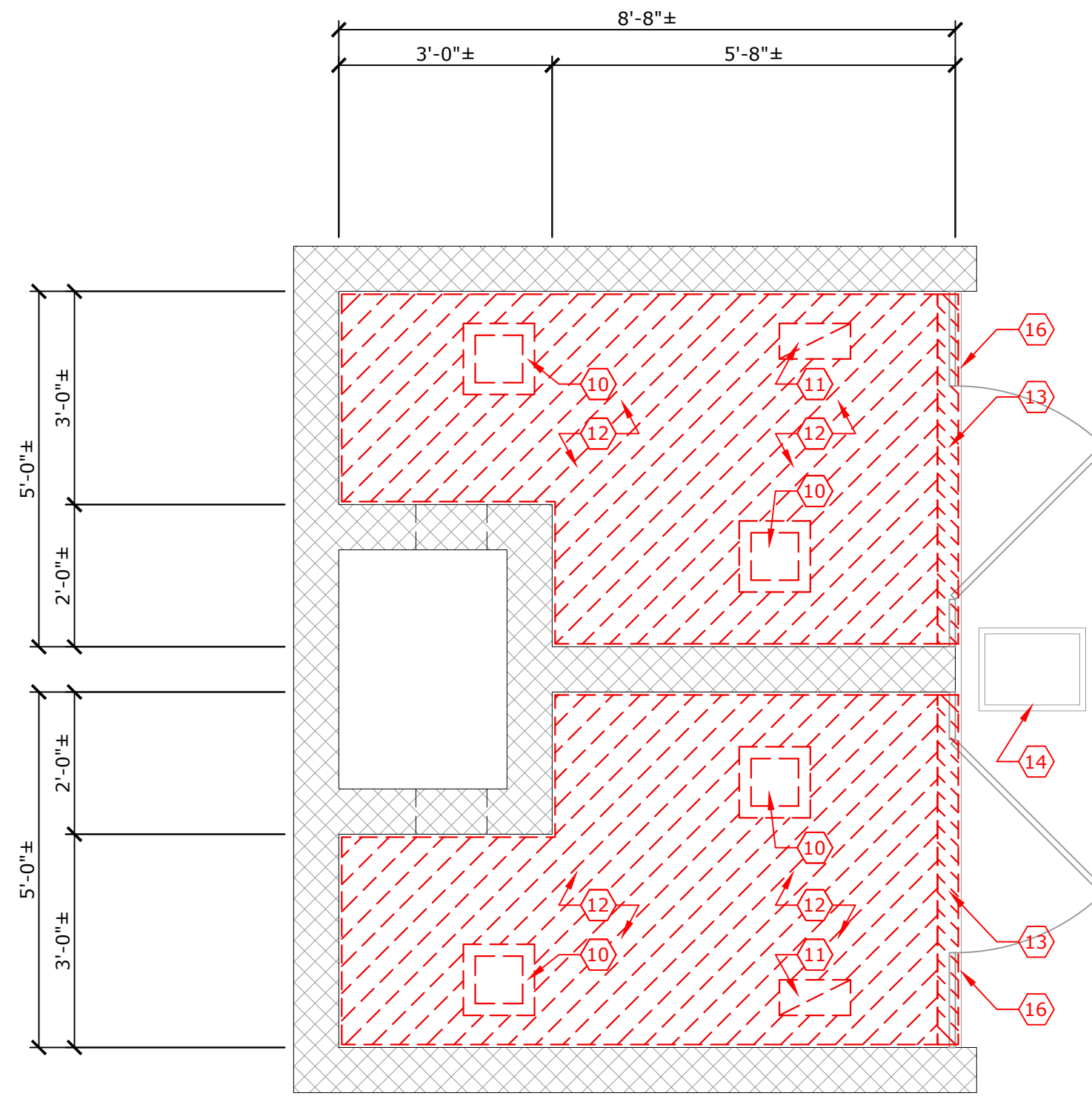








**1 DEMOLITION FLOOR PLAN**  
 AD-101 SCALE: 1/2" = 1'-0"  
 CROSS REFERENCE: NONE



**1 DEMOLITION REFLECTED CEILING PLAN**  
 AD-101 SCALE: 1/2" = 1'-0"  
 CROSS REFERENCE: NONE

**DEMOLITION KEYED NOTES:**

- 1 REMOVE AND SALVAGE PARTITION WALL AND DOORS FOR REINSTALLATION AT COMPLETION OF WORK. SALVAGE SHALL INCLUDE ALL HARDWARE AND ACCESSORIES NECESSARY FOR REINSTALLATION.
- 2 EXISTING FLOOR DRAINS TO REMAIN (ROUND & SQUARE MODELS). REMOVE FLOOR DRAIN COVERS AND ASSOCIATED FASTENERS, REMOVE EXCESS DIRT AND MATERIALS BACK TO A CLEAN SURFACE. REMOVE ADJACENT FLOOR FINISH AS REQUIRED FOR NEW WORK. PREP SURFACE FOR NEW COVER/FASTENER INSTALLATION.
- 3 REMOVE RECESSED SECURITY SHOWER FIXTURE INCLUDING ALL ACCESSORY ELEMENTS, MOUNTING HARDWARE AND MIXING VALVE. CUT AND CAP EXISTING WATER LINES AS REQUIRED FOR NEW INSTALLATION.
- 4 REMOVE EXISTING WALL COATING, FLEXIBLE JOINT SEALANT, ADHESIVE, MASONRY ANCHORS, DAMAGED/LOOSE CMU AND DAMAGED/LOOSE MORTAR BACK TO SOUND SURFACE AS REQUIRED BY NEW WALL COATING SYSTEM.
- 5 REMOVE EXISTING FRP SHOWER WALL PANELS, FASTENERS AND ANCHORS (APPROXIMATELY 50% OF SHOWER STALLS) BACK TO SOUND SURFACE AS REQUIRED BY NEW WALL COATING SYSTEM.
- 6 EXISTING EPOXY SHOWER FLOOR AND WALL BASE TO REMAIN. CONTRACTOR TO REMOVE ALL LOOSE AND DAMAGED PORTIONS OF FLOORING AND PREP SURFACES TO REMAIN AS REQUIRED FOR A NEW COATING SYSTEM. PREVIOUSLY PATCHED SURFACE AREAS TO BE FULLY REMOVED BACK TO SOUND SURFACE.
- 7 REMOVE EXISTING METAL SHELF ASSEMBLY INCLUDING FASTENERS AND ANCHORS.
- 8 REMOVE EXISTING METAL WALL VENT INCLUDING FASTENERS AND ANCHORS. EXISTING HIDDEN DUCTWORK TO REMAIN. CONTRACTOR SHALL INCLUDE CLEANING OF EXISTING DUCTWORK (APPROXIMATELY 20 LF PER SHOWER UNIT).
- 9 EXISTING VCT FLOORING TO REMAIN.
- 10 REMOVE EXISTING CEILING LIGHT FIXTURE INCLUDING FASTENERS AND ANCHORS. CAP EXISTING POWER WIRING FOR REUSE.
- 11 REMOVE EXISTING METAL CEILING VENT INCLUDING FASTENERS AND ANCHORS. EXISTING HIDDEN DUCTWORK TO REMAIN. CONTRACTOR SHALL INCLUDE CLEANING OF EXISTING DUCTWORK (APPROXIMATELY 20 LF PER SHOWER UNIT).
- 12 REMOVE GYPSUM BOARD CEILING INCLUDING JOINT MATERIALS, FASTENERS AND HORIZONTAL SUSPENDED TRACK SYSTEM. EXISTING VERTICAL CEILING HANGERS/STRUTS TO REMAIN FOR NEW WORK.
- 13 REMOVE EXISTING L-BRACKET/PLATE CLOSURE, FASTENERS AND GWB BACKER MATERIAL AS REQUIRED FOR NEW WORK.
- 14 EXISTING ACCESS PANEL TO REMAIN.
- 15 EXISTING SPRINKLER HEADS AND SMOKE/HEAT SENSORS TO REMAIN. PROTECT DURING ALL STAGES OF DEMOLITION AND NEW CONSTRUCTION.
- 16 EXISTING VERTICAL GWB SOFFIT SURFACE TO REMAIN.

**GENERAL DEMOLITION NOTES:**

- DEFINITIONS**
1. REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTIONS AND DISPOSE OF THEM OFF-SITE UNLESS INDICATED TO BE SALVAGED OR REINSTALLED.
  2. REMOVE AND SALVAGE: DETACH ITEMS FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, AND DELIVER TO OWNER READY FOR REUSE IN 'LIKE-NEW' CONDITION.
  3. REMOVE AND REINSTALL: DETACH ITEMS FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, PREPARE FOR REUSE, AND REINSTALL WHERE INDICATED.
  4. EXISTING TO REMAIN: LEAVE EXISTING ITEMS THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE SALVAGED OR REINSTALLED.
  5. DISMANTLE: REMOVE BY DISASSEMBLING OR DETACHING AN ITEM FROM A SURFACE, USING GENTLE METHODS AND EQUIPMENT TO PREVENT DAMAGE TO THE ITEM AND SURFACES; DISPOSING OF ITEMS UNLESS INDICATED TO BE SALVAGED OR REINSTALLED.
- REGULATIONS**
1. GOVERNING EPA NOTIFICATION REGULATIONS MUST BE COMPLIED WITH BEFORE BEGINNING ANY DEMOLITION. MANY AUTHORITIES HAVE JURISDICTION OVER HAULING AND DISPOSAL OF DEMOLITION MATERIALS AND SHOULD BE COMPLIED WITH AS WELL. LIKEWISE, ADHERENCE TO ALL ANSI SAFETY REQUIREMENTS AND NFPA STANDARDS FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS IS REQUIRED.
- SUBMITTALS**
1. THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF SELECTIVE DEMOLITION ACTIVITIES. INDICATE THE FOLLOWING:
    - A. DETAILED SEQUENCE OF SELECTIVE DEMOLITION AND REMOVAL WORK, WITH STARTING AND ENDING DATES FOR EACH ACTIVITY. ENSURE OWNER'S ON-SITE OPERATIONS ARE UNINTERRUPTED.
    - B. INTERRUPTION OF UTILITY SERVICES. INDICATE HOW LONG UTILITY SERVICES WILL BE INTERRUPTED.
    - C. COORDINATION FOR SHUTOFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES.
    - D. LOCATIONS OF PROPOSED DUST- AND NOISE-CONTROL TEMPORARY PARTITIONS AND MEANS OF EGRESS.
    - E. COORDINATION OF OWNER'S CONTINUING OCCUPANCY OF PORTIONS OF EXISTING BUILDING AND OF OWNER'S PARTIAL OCCUPANCY OF COMPLETED WORK.
    - F. MEANS OF PROTECTION FOR ITEMS TO REMAIN AND ITEMS IN PATH OF WASTE REMOVAL FROM BUILDING.
- PRE-DEMOLITION CONFERENCE**
1. PRE-DEMOLITION CONFERENCE: CONDUCT CONFERENCE AT PROJECT SITE. REVIEW METHODS AND PROCEDURES RELATED TO SELECTIVE DEMOLITION INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
    - A. INSPECT AND DISCUSS CONDITION OF CONSTRUCTION TO BE SELECTIVELY DEMOLISHED.
    - B. REVIEW STRUCTURAL LOAD LIMITATIONS OF EXISTING STRUCTURE.
    - C. REVIEW AND FINALIZE SELECTIVE DEMOLITION SCHEDULE AND VERIFY AVAILABILITY OF MATERIALS, DEMOLITION PERSONNEL, EQUIPMENT, AND FACILITIES NEEDED TO MAKE PROGRESS AND AVOID DELAYS.
    - D. REVIEW REQUIREMENTS OF WORK PERFORMED BY OTHER TRADES THAT RELY ON SUBSTRATES EXPOSED BY SELECTIVE DEMOLITION OPERATIONS.
    - E. REVIEW AREAS WHERE EXISTING CONSTRUCTION IS TO REMAIN AND REQUIRES PROTECTION.

**PROTECTION OF EXISTING CONSTRUCTION**

1. DO NOT USE WATER WHEN IT MAY DAMAGE EXISTING CONSTRUCTION OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS ICE, FLOODING, AND POLLUTION.
2. RETURN ELEMENTS OF CONSTRUCTION AND SURFACES THAT ARE TO REMAIN TO THE CONDITION EXISTING BEFORE DEMOLITION BEGAN. IF IDENTICAL MATERIALS ARE UNAVAILABLE OR CANNOT BE USED FOR EXPOSED SURFACES, USE MATERIALS THAT VISUALLY MATCH EXISTING ADJACENT SURFACES.

**SALVAGING**

1. ITEMS TO BE SALVAGED SHOULD BE DISCONNECTED AND REMOVED BY THE DEMOLITION CONTRACTOR UNLESS NOTED OTHERWISE. ITEMS SHOULD BE CLEANED AND REPAIRED TO A FUNCTIONAL CONDITION ADEQUATE FOR THE INTENDED REUSE.

**CUTTING AND PATCHING**

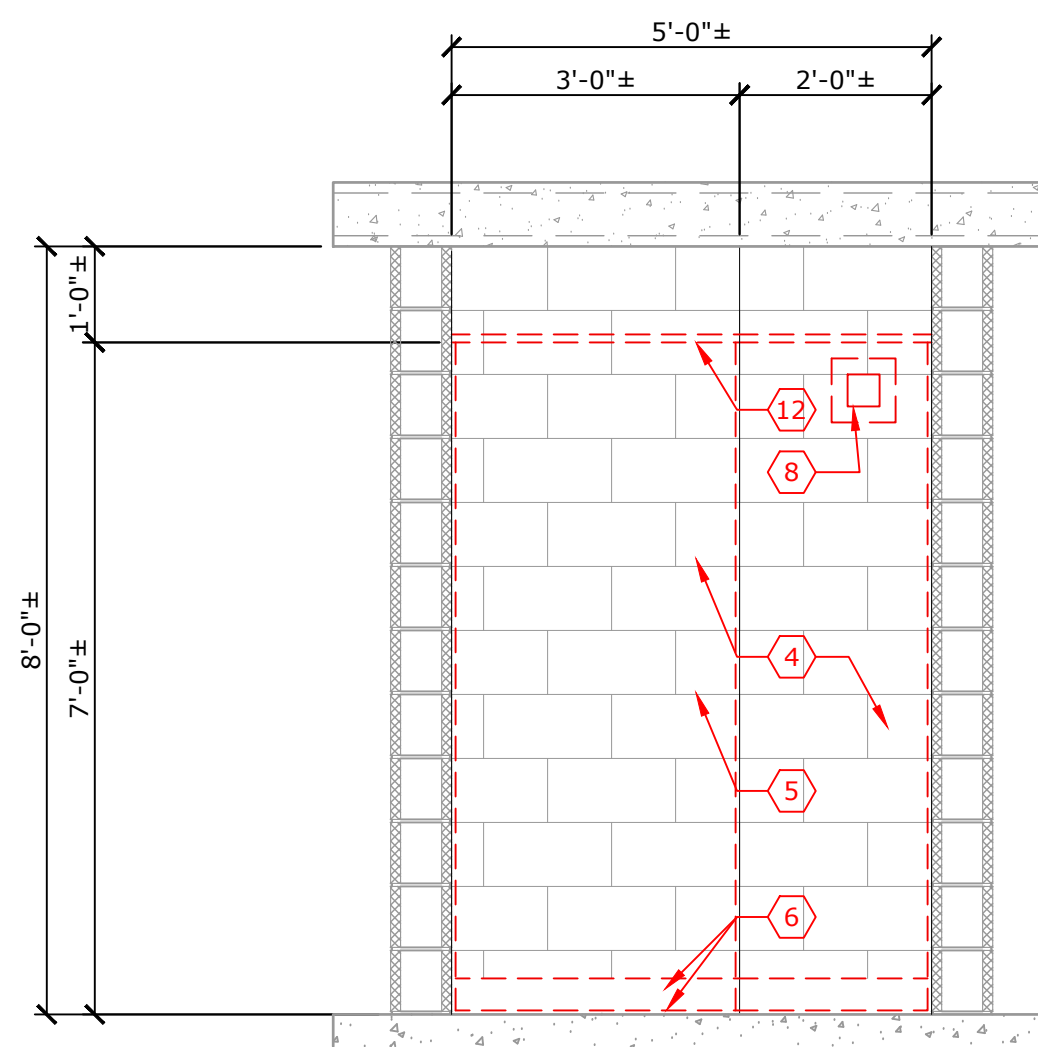
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, FITTING OR PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY. ALL AREAS REQUIRING CUTTING, FITTING AND PATCHING SHALL BE RESTORED TO THE CONDITION EXISTING PRIOR TO THE CUTTING, FITTING AND PATCHING, UNLESS OTHERWISE REQUIRED BY THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL NOT DAMAGE OR ENDANGER THE WORK, OR FULLY OR PARTIALLY COMPLETED CONSTRUCTION BY CUTTING, PATCHING OR OTHERWISE ALTERING SUCH CONSTRUCTION, OR BY EXCAVATION. THE CONTRACTOR SHALL NOT CUT OR OTHERWISE ALTER SUCH CONSTRUCTION BY THE OWNER OR A SEPARATE CONTRACTOR EXCEPT WITH WRITTEN CONSENT OF THE OWNER AND OF SUCH SEPARATE CONTRACTOR; SUCH CONSENT SHALL NOT BE UNREASONABLY WITHHELD. THE CONTRACTOR SHALL NOT UNREASONABLY WITHHOLD FROM THE OWNER OR A SEPARATE CONTRACTOR THE CONTRACTOR'S CONSENT TO CUTTING OR OTHERWISE ALTERING THE WORK.

**CONCEALED OR UNKNOWN CONDITIONS**

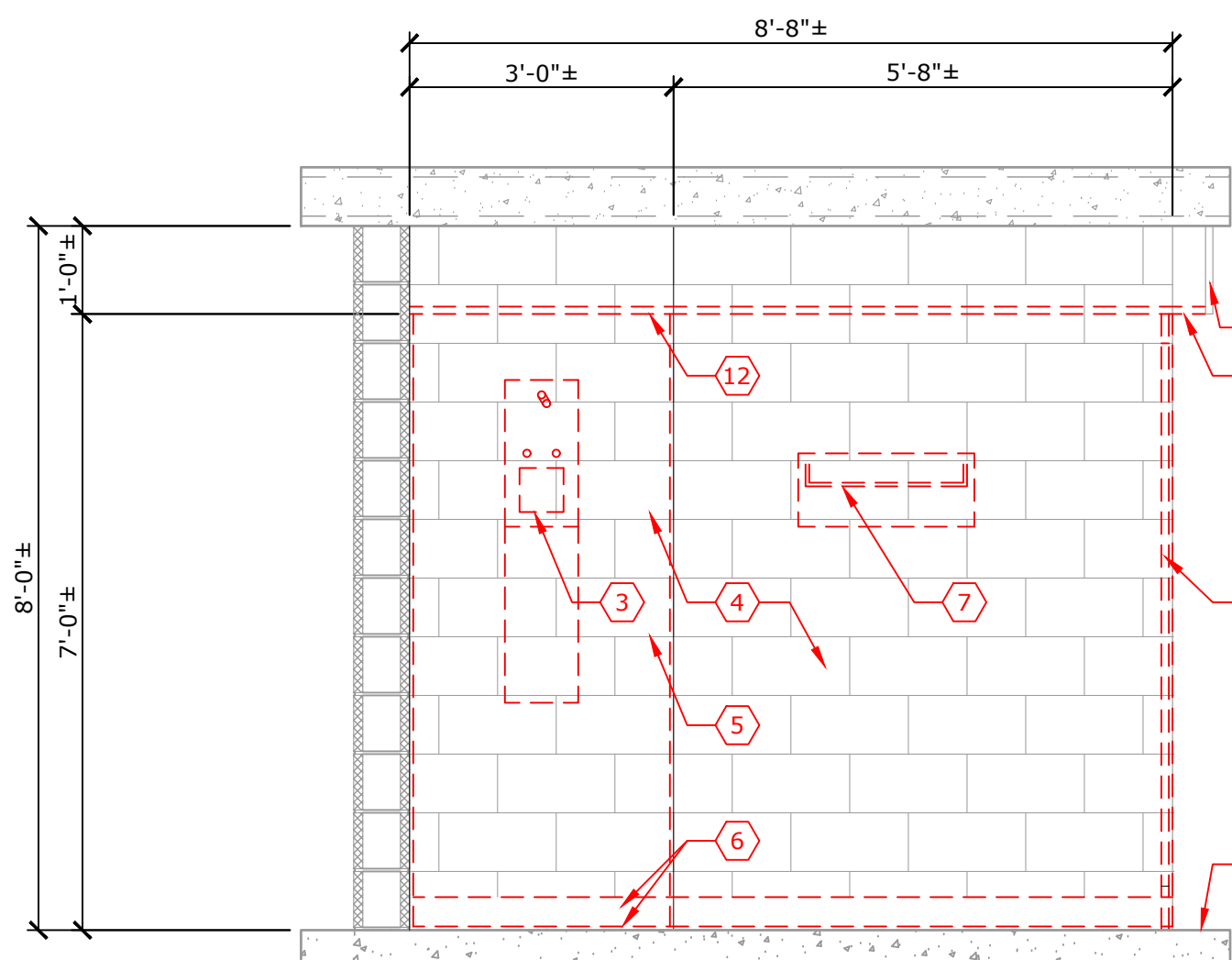
1. IF THE CONTRACTOR ENCOUNTERS CONDITIONS AT THE SITE THAT ARE (1) SUBSURFACE OR OTHERWISE CONCEALED PHYSICAL CONDITIONS THAT DIFFER MATERIALLY FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS OR (2) UNKNOWN PHYSICAL CONDITIONS OF AN UNUSUAL NATURE, THAT DIFFER MATERIALLY FROM THOSE ORDINARILY FOUND TO EXIST AND GENERALLY RECOGNIZED AS INHERENT IN CONSTRUCTION ACTIVITIES OF THE CHARACTER PROVIDED FOR IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY PROVIDE NOTICE TO THE OWNER'S REPRESENTATIVE BEFORE CONDITIONS ARE DISTURBED.
2. REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS, AND PROMPTLY DISPOSE OF THEM OFF-SITE.

**PROCEEDING WITH NEW WORK**

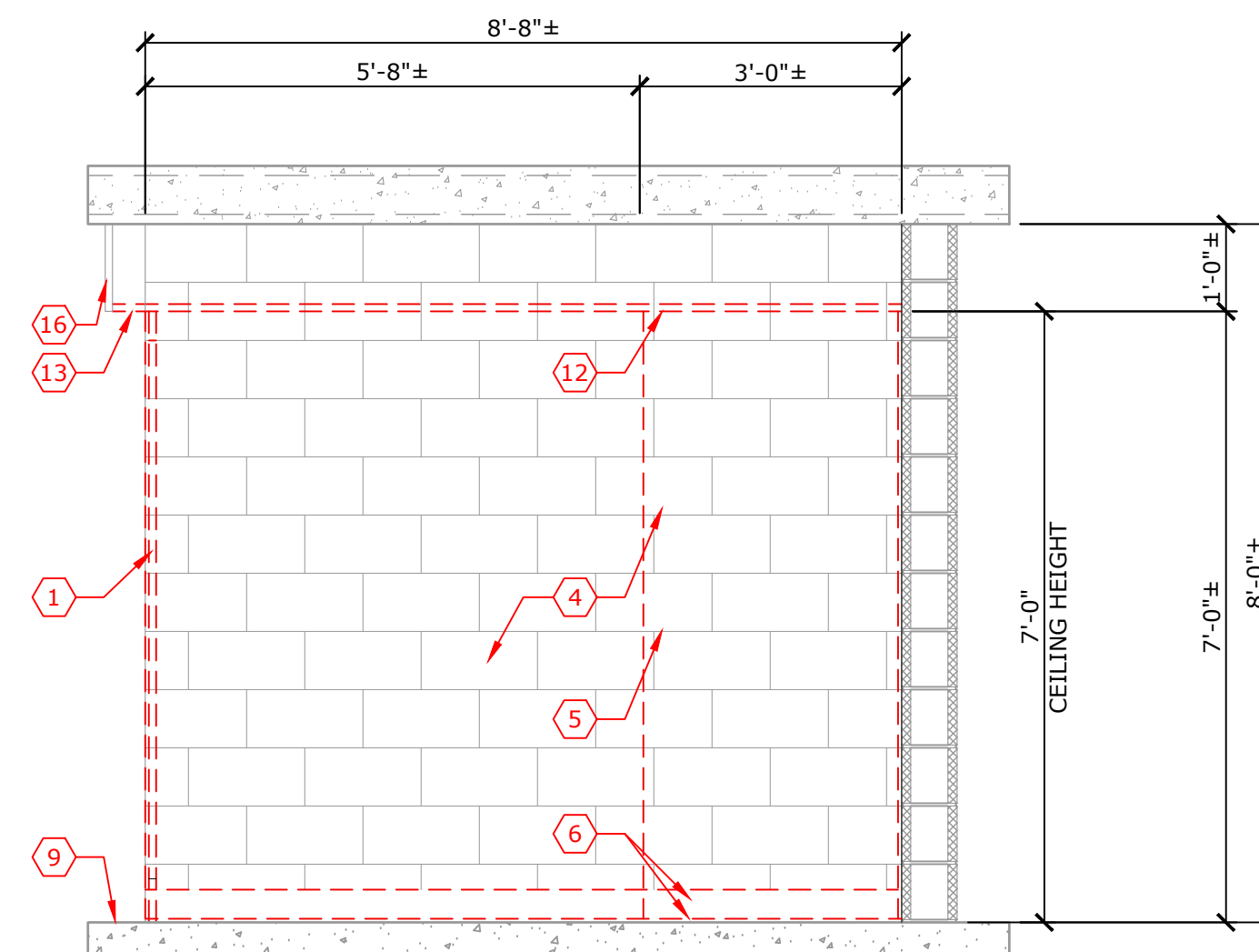
1. BEFORE THE INSTALLATION OF NEW MATERIALS BEGINS, AN INSPECTION OF THE REMAINING CONSTRUCTION SHOULD BE PERFORMED. SECURE, REBUILD, AND RECTIFY REMAINING CONSTRUCTION THAT IS FOUND TO BE WEAKENED, DAMAGED, OR OTHERWISE UNSUITABLE TO RECEIVE NEW WORK.



**3 ELEVATION**  
 AD-101 SCALE: 1/2" = 1'-0"  
 CROSS REFERENCE: 1/AE-101



**4 ELEVATION**  
 AD-101 SCALE: 1/2" = 1'-0"  
 CROSS REFERENCE: 1/AE-101



**5 ELEVATION**  
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**DEMOLITION FLOOR PLANS & ELEVATIONS**

**MONTGOMERY COUNTY PUBLIC SAFETY FACILITY  
SHOWER RENOVATIONS**

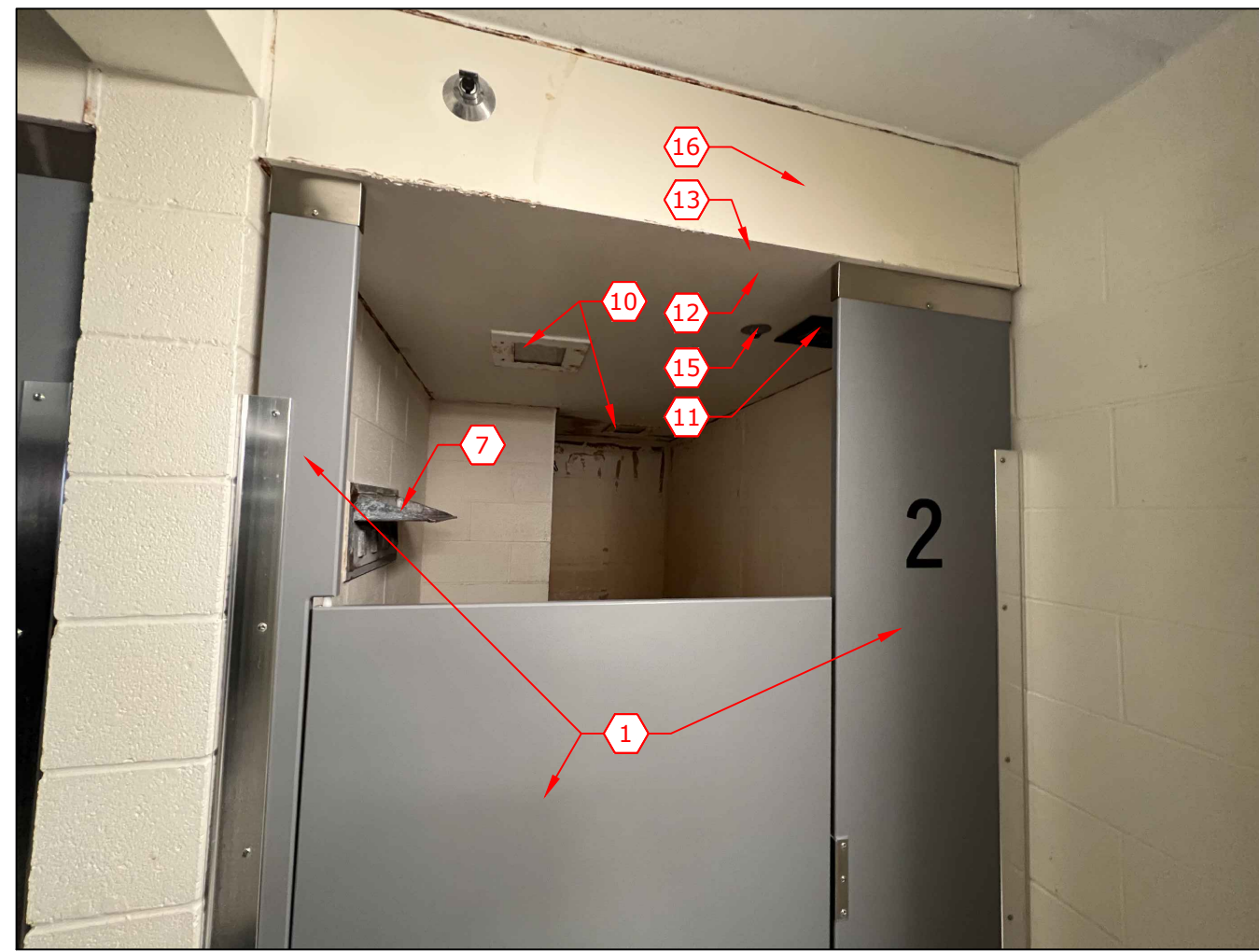
TOWN OF GLEN MONTGOMERY COUNTY, NEW YORK

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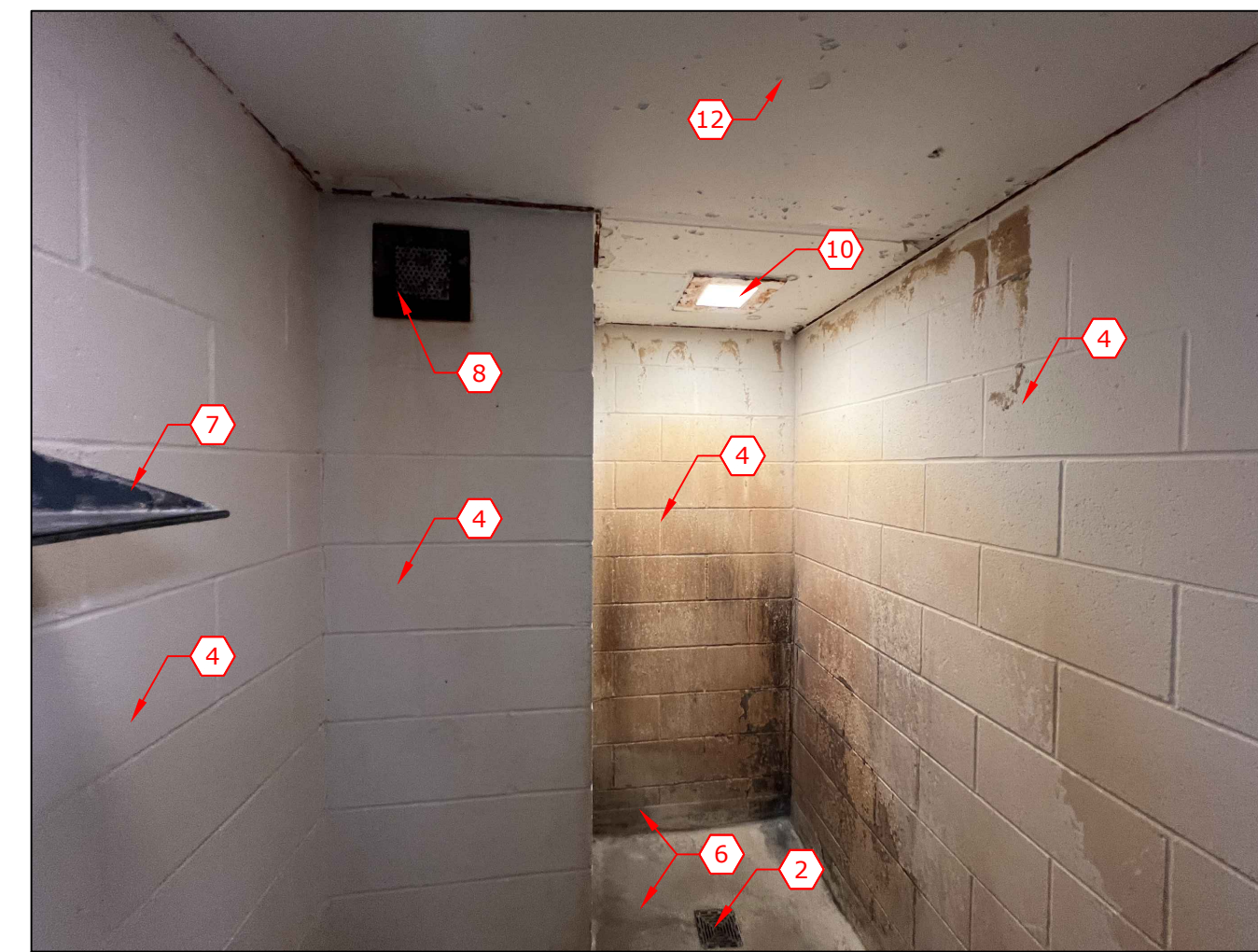




**1 EXISTING PHOTOS**  
 AE-201 SCALE: NONE  
 CROSS REFERENCE: 1/AE-101



**2 EXISTING PHOTOS**  
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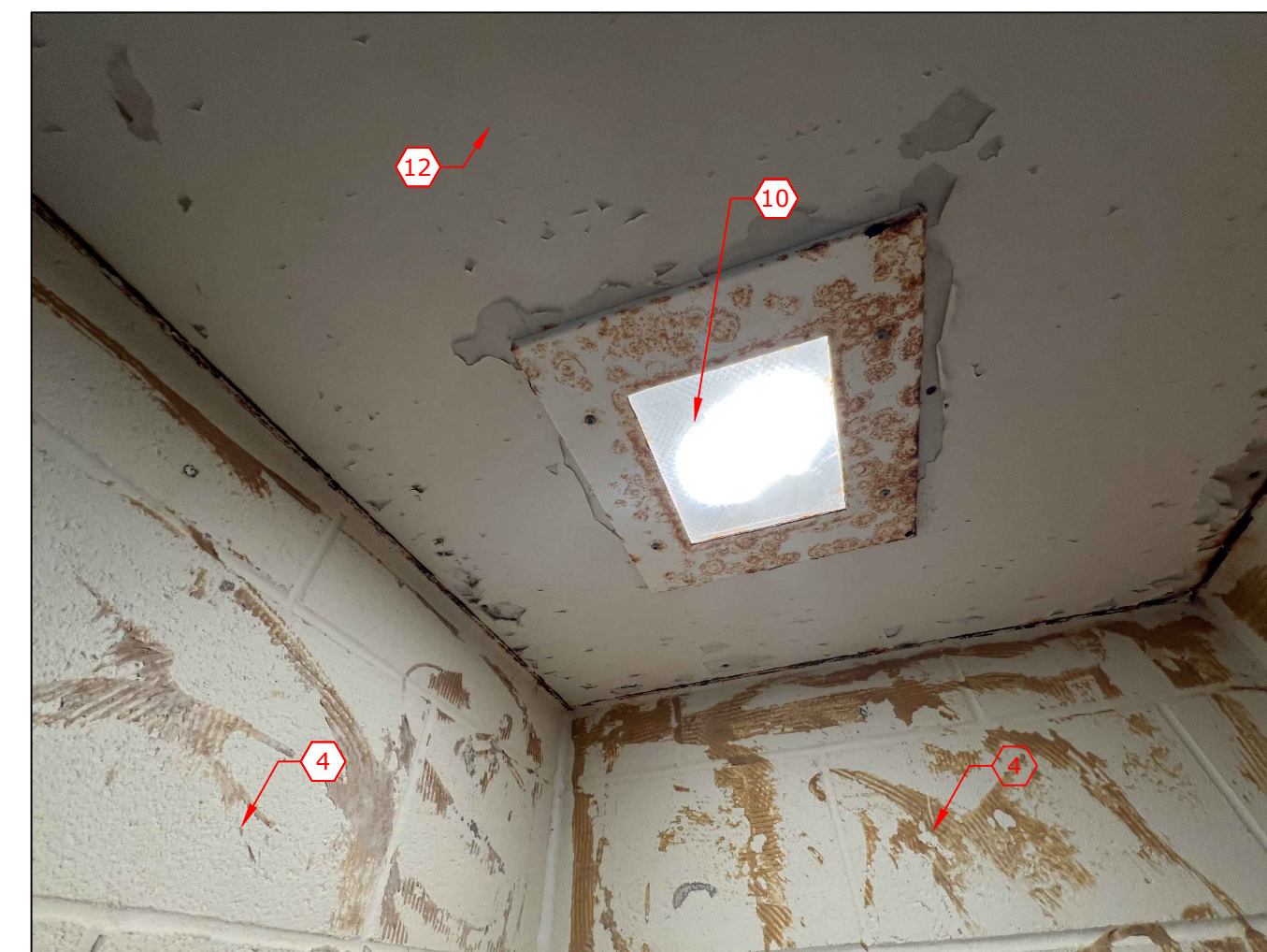
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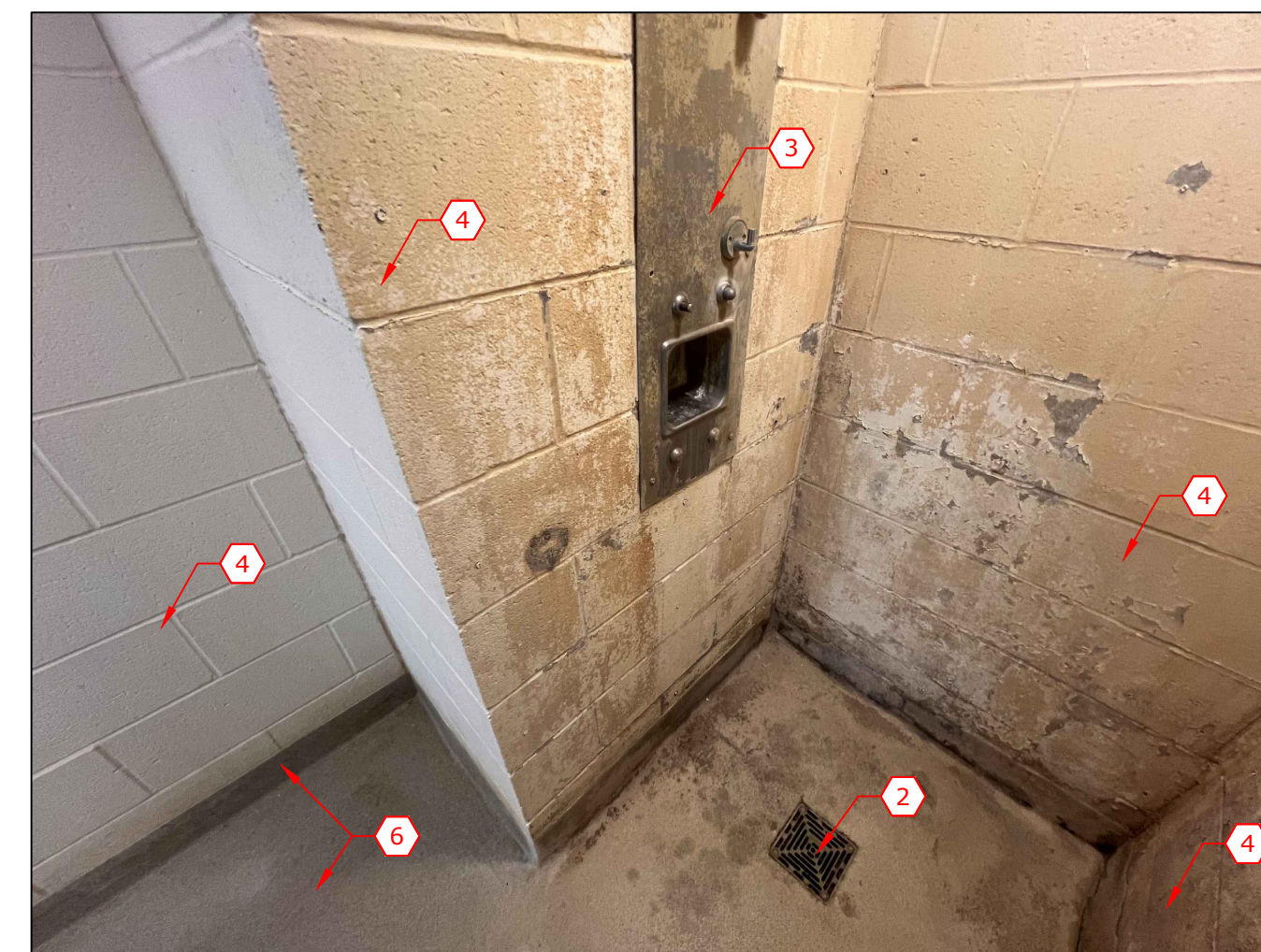
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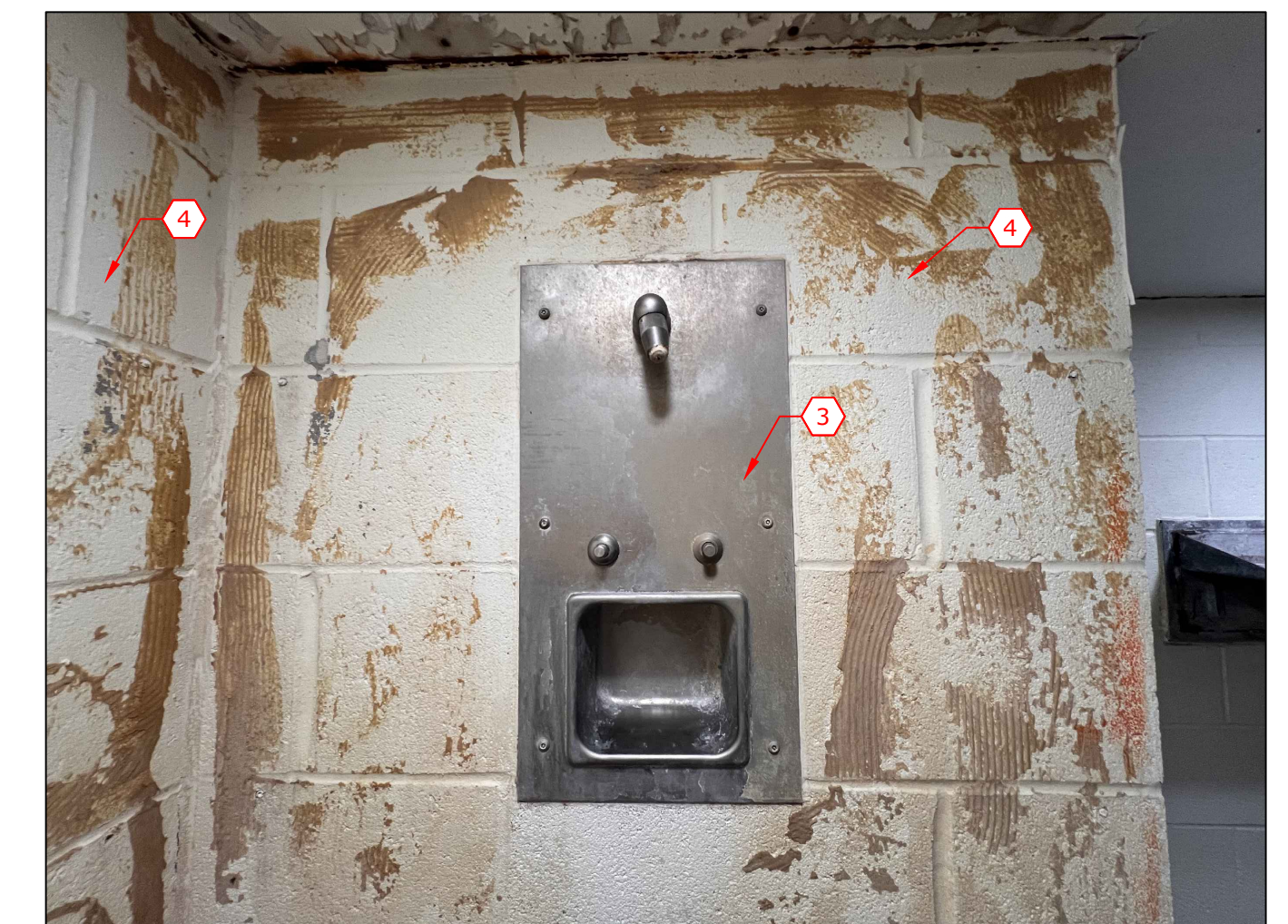
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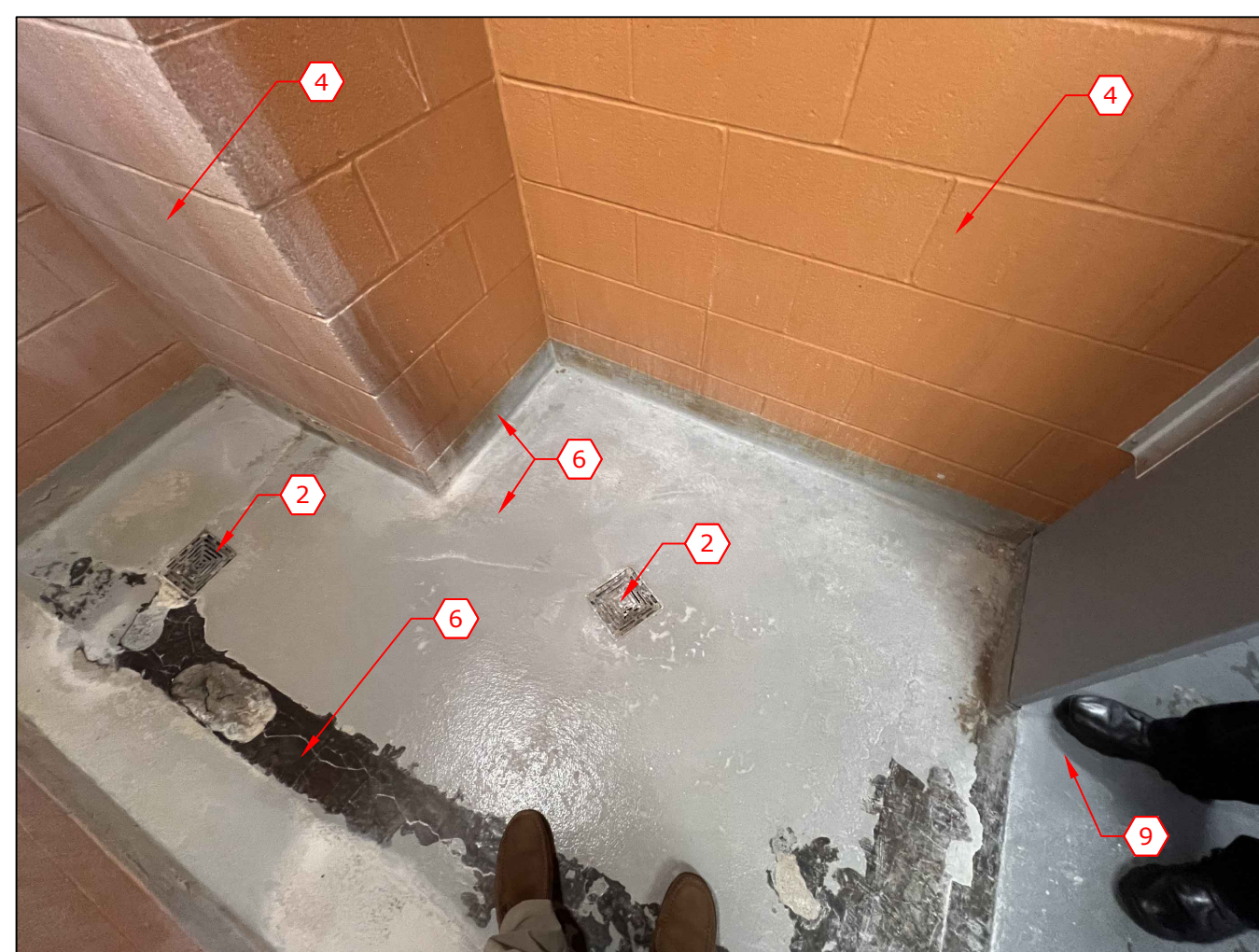
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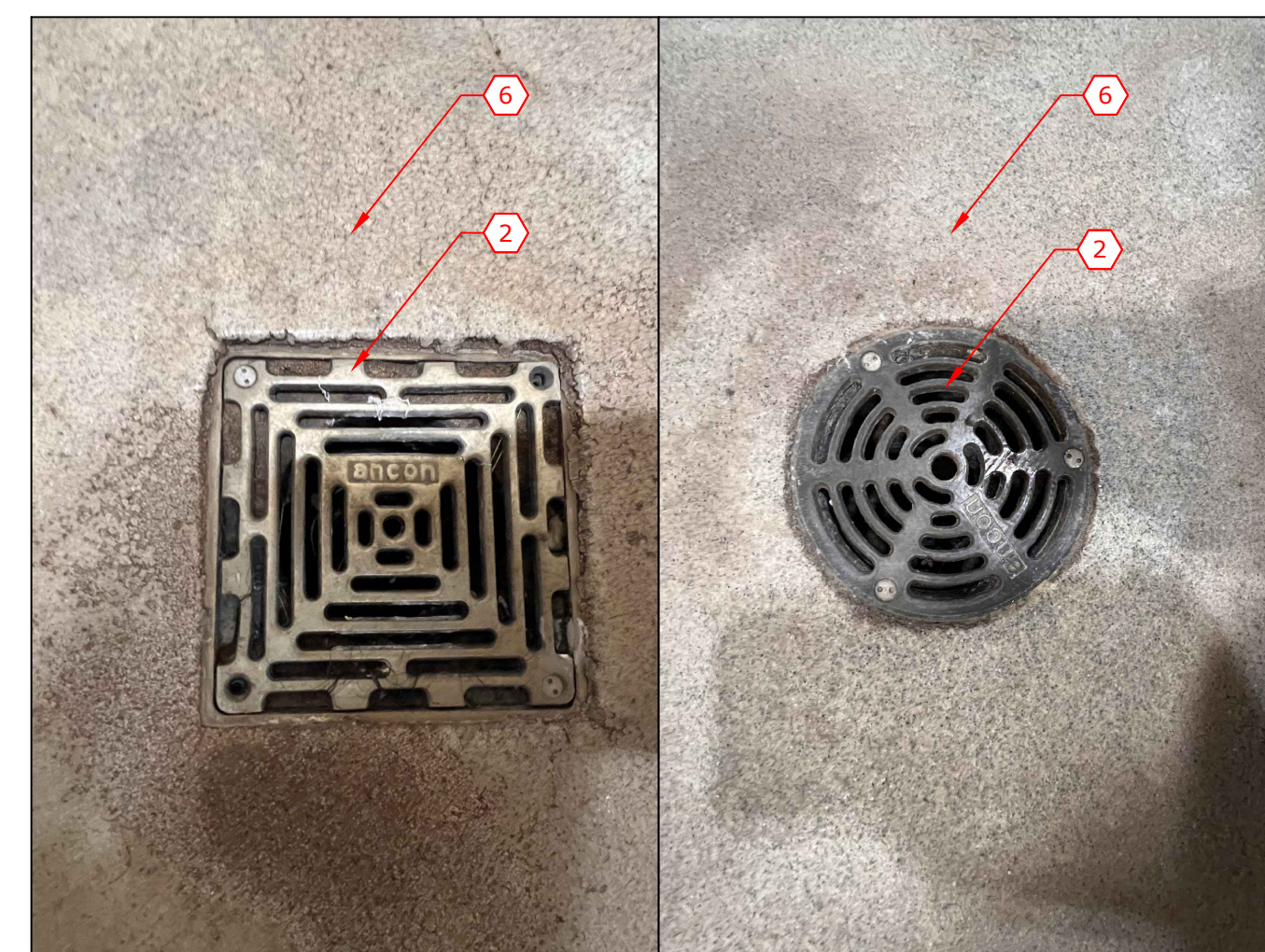
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- 6 EXISTING EPOXY SHOWER FLOOR AND WALL BASE TO REMAIN. CONTRACTOR TO REMOVE ALL LOOSE AND DAMAGED PORTIONS OF FLOORING AND PREP SURFACES TO REMAIN AS REQUIRED FOR A NEW COATING SYSTEM. PREVIOUSLY PATCHED SURFACE AREAS TO BE FULLY REMOVED BACK TO SOUND SURFACE.
- 7 REMOVE EXISTING METAL SHELF ASSEMBLY INCLUDING FASTENERS AND ANCHORS.
- 8 REMOVE EXISTING METAL WALL VENT INCLUDING FASTENERS AND ANCHORS. EXISTING HIDDEN DUCTWORK TO REMAIN. CONTRACTOR SHALL INCLUDE CLEANING OF EXISTING DUCTWORK (APPROXIMATELY 20 LF PER SHOWER UNIT).
- 9 EXISTING VCT FLOORING TO REMAIN.
- 10 REMOVE EXISTING CEILING LIGHT FIXTURE INCLUDING FASTENERS AND ANCHORS. CAP EXISTING POWER WIRING FOR REUSE.
- 11 REMOVE EXISTING METAL CEILING VENT INCLUDING FASTENERS AND ANCHORS. EXISTING HIDDEN DUCTWORK TO REMAIN. CONTRACTOR SHALL INCLUDE CLEANING OF EXISTING DUCTWORK (APPROXIMATELY 20 LF PER SHOWER UNIT).
- 12 REMOVE GYPSUM BOARD CEILING INCLUDING JOINT MATERIALS, FASTENERS AND HORIZONTAL SUSPENDED TRACK SYSTEM. EXISTING VERTICAL CEILING HANGERS/STRUTS TO REMAIN FOR NEW WORK.
- 13 REMOVE EXISTING L-BRACKET/PLATE CLOSURE, FASTENERS AND GWB BACKER MATERIAL AS REQUIRED FOR NEW WORK.
- 14 EXISTING ACCESS PANEL TO REMAIN.
- 15 EXISTING SPRINKLER HEADS AND SMOKE/HEAT SENSORS TO REMAIN. PROTECT DURING ALL STAGES OF DEMOLITION AND NEW CONSTRUCTION.
- 16 EXISTING VERTICAL GWB SOFFIT SURFACE TO REMAIN.

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**NICHOLAS M. LOBOSCO**  
R.A. NO. 034280

**DEMOLITION PHOTOGRAPHS**

**MONTGOMERY COUNTY PUBLIC SAFETY FACILITY**  
**SHOWER RENOVATIONS**

TOWN OF GLEN MONTGOMERY COUNTY, NEW YORK

**C.T. MALE ASSOCIATES**  
Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.  
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**AD-201**  
SHEET 04 OF 06  
DWG. NO: 24-0294

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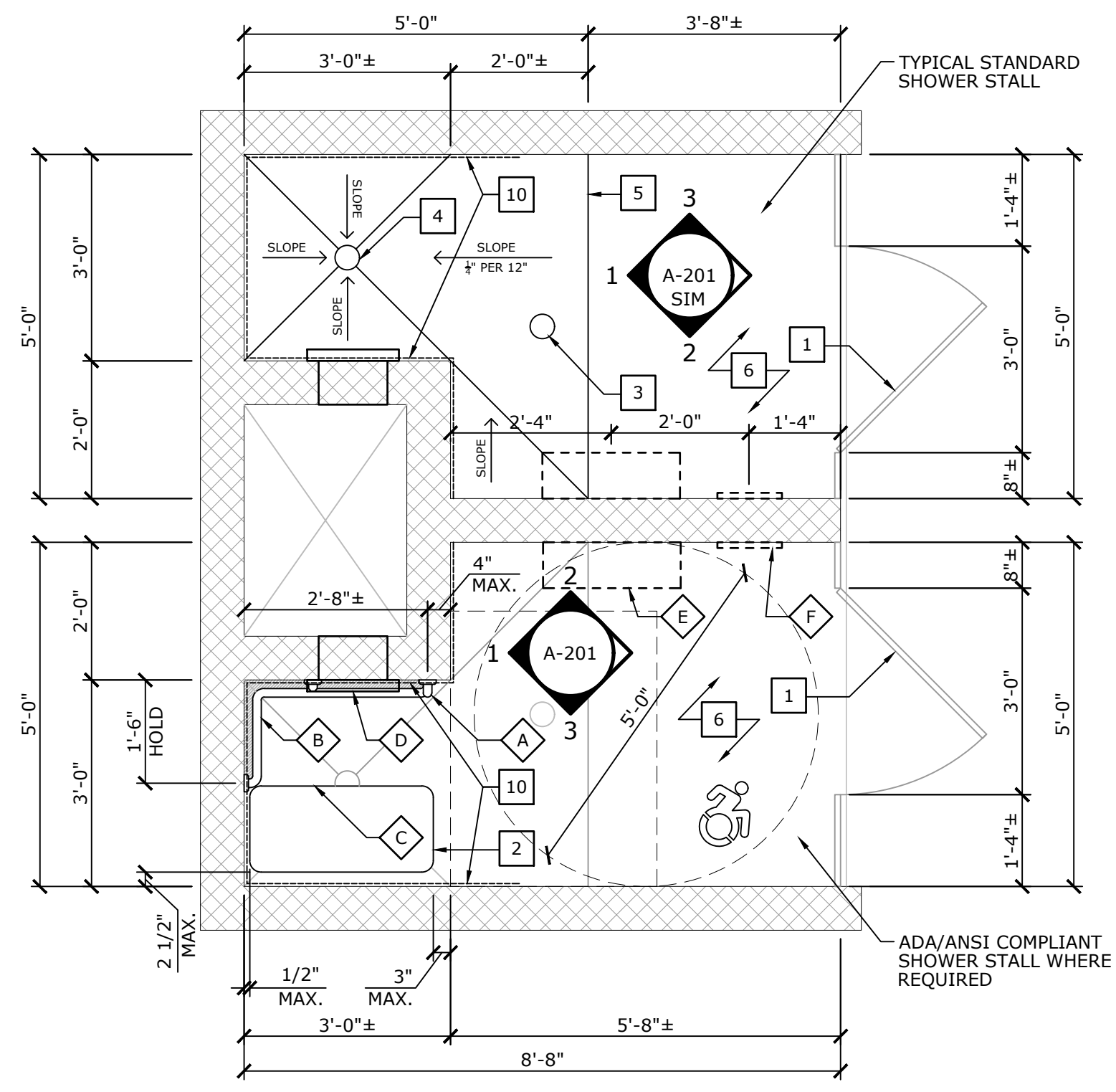


**KEYED NOTES:**

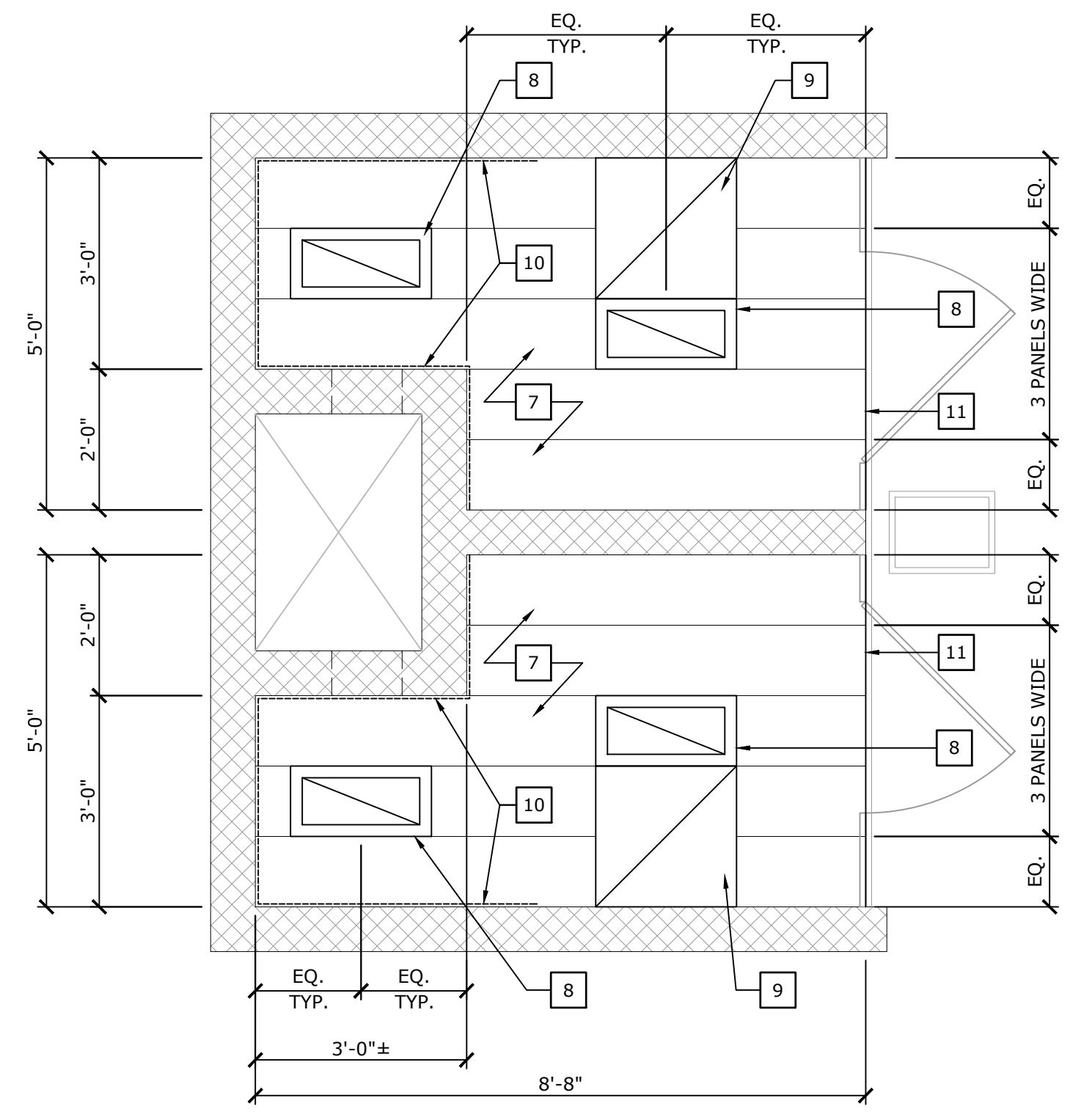
- 1 REINSTALL EXISTING PARTITION WALL AND DOORS
- 2 COMPLY WITH ADA/ANSI STANDARDS WHERE REQUIRED
- 3 EXISTING BACK-UP DRAIN WITH NEW DRAIN COVER
- 4 EXISTING SHOWER DRAIN WITH NEW DRAIN COVER
- 5 SLOPE 1/4" PER 12" TO EXISTING DRAIN
- 6 NEW EPOXY FLOORING AND BASE - SEE DETAILS & SPECS
- 7 NEW TAMPER-PROOF EXPOSED CEILING ASSEMBLY TO MATCH EXISTING CEILING HEIGHT - REFER TO SPECS & DETAIL 3/A-101
- 8 NEW INTEGRAL SECURITY GRADE LED RECESSED LIGHT FIXTURE - REFER TO SPECS
- 9 NEW INTEGRAL SECURITY RETURN GRILLE - TIE-IN EXISTING CEILING VENTS. NOTE, SHOWER UNITS WITH WALL VENTS SHALL BE REPLACEMENT WITH A MAXIMUM SECURITY GRADE WALL GRILL IN PLACE OF CEILING VENT, REFER TO SPECS. CONTRACTOR TO FIELD VERIFY VENT OPENING SIZE.
- 10 EPOXY WALL COVERING, SAME SYSTEM AS FLOOR COATING. REFER TO SPEC 099400 FOR WALL PREPARATION.
- 11 REPAIR DRYWALL EDGE AS REQUIRED, PROVIDE SECURITY CAULK AT TRANSITION TO CEL-LINE SECURITY CEILING SYSTEM

**GENERAL CONSTRUCTION NOTES:**

- COORDINATION WITH OCCUPANTS AND EXISTING OPERATIONS
- THE BUILDING WILL REMAIN OCCUPIED DURING CONSTRUCTION ACTIVITIES
  - OWNER SHALL CLEAR WORK AREA OF ALL FURNISHINGS, FIXTURES, AND EQUIPMENT IN SELECTIVE DEMOLITION AREAS PRIOR TO COMMENCEMENT OF THE WORK.
  - DO NOT INTERRUPT EXISTING UTILITY SERVICE WITHOUT AUTHORIZATION FROM THE OWNER. PROVIDE TEMPORARY SERVICE DURING INTERRUPTIONS UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.
  - LIFE SAFETY SYSTEMS MUST REMAIN FULLY OPERATIONAL THROUGHOUT DEMOLITION. WHERE THE WORK AFFECTS LIFE SAFETY SYSTEMS, ALL EXISTING BUILDING SIGNALING SYSTEMS (FIRE ALARM, PULL STATIONS, FIRE WARDEN STATIONS, HORNS, STROBES, SPEAKERS, STANDPIPE TELEPHONES, ETC.) SHOULD BE EITHER RELOCATED OR TEMPORARILY SUSPENDED FROM THE STRUCTURE. BEFORE TEMPORARILY DISCONNECTING OR RELOCATING EXISTING FIRE ALARM EQUIPMENT, THE CONTRACTOR SHOULD NOTIFY THE BUILDING OWNER OR MANAGER. ALL RELOCATED OR NEW EQUIPMENT SHOULD BE INSTALLED IN ACCORDANCE WITH ELECTRICAL AND BUILDING CODES AND THE ACCESSIBILITY REQUIREMENTS.
  - THROUGHOUT DEMOLITION THE REQUIRED MEANS OF EGRESS MUST BE MAINTAINED FROM ALL OCCUPIED SPACES. TEMPORARY PARTITIONS MUST ALLOW ACCESS TO EXISTING WALKWAYS, CORRIDORS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. EGRESS CORRIDORS OR PASSAGES SERVING OCCUPIED SPACES MUST MEET APPLICABLE CODES FOR EXIT SIGNAGE, EMERGENCY LIGHTING, LIFE SAFETY SPEAKER/STROBES, FIRE HOSE CABINETS, FIRE EXTINGUISHER PLACEMENT, FIRE WARDEN STATIONS, AND SPRINKLERS.
  - DO NOT CLOSE OR OBSTRUCT WALKWAYS, CORRIDORS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
- TEMPORARY PROTECTION
- USE TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR. USE SUITABLE METHODS TO LIMIT DUST AND DIRT FROM ADJACENT AREAS.
  - PROVIDE TEMPORARY AND REMOVABLE PROTECTION FOR INSTALLED PRODUCTS. CONTROL ACTIVITY IN IMMEDIATE WORK AREA TO MINIMIZE DAMAGE.
  - PROVIDE PROTECTIVE COVERINGS AT ADJACENT CONSTRUCTION NOT AFFECTED BY CONSTRUCTION.
  - PROTECT FINISHED FLOORS AND OTHER SURFACES WITH DURABLE SHEET MATERIALS FROM TRAFFIC, DIRT, WEAR, DAMAGE OR MOVEMENT OF HEAVY OBJECTS.
- CONSTRUCTION ACTIVITY CLEANING
- CONTROL ACCUMULATION OF WASTE MATERIALS AND RUBBISH DURING CONSTRUCTION. LEAVE PROJECT AREA BROOM CLEAN AT THE END OF EACH DAY. REMOVE ALL DEBRIS FROM THE SITE IN ACCORDANCE WITH STATE AND LOCAL CODES. COORDINATE REMOVAL WITH OWNER.
  - AVOID UNSIGHTLY CONDITIONS BY CLEANING ADJACENT STRUCTURES AND ARCHITECTURAL FINISHES. ELIMINATE TRACTABLE DIRT BY WET-MOPPING FLOORS AND WIPING DOWN WALLS AND DOORS OF THE DEMOLITION ENCLOSURE. VACUUM CARPETED AREAS ON A DAILY BASIS. PROVIDE WALK-OFF MATS FROM THE AREA OF WORK TO PREVENT DUST FROM BEING TRACKED ONTO ADJACENT FLOOR FINISHES. DO NOT USE PUBLIC CORRIDORS, LOBBIES, OR HALLWAYS AS STAGING AREAS. LIMIT RUBBISH REMOVAL TO AFTER NORMAL BUSINESS HOURS.
  - THE CONTRACTOR SHALL KEEP THE PREMISES AND SURROUNDING AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY OPERATIONS UNDER THE CONTRACT. AT COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE WASTE MATERIALS, RUBBISH, THE CONTRACTOR'S TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS FROM AND ABOUT THE PROJECT.

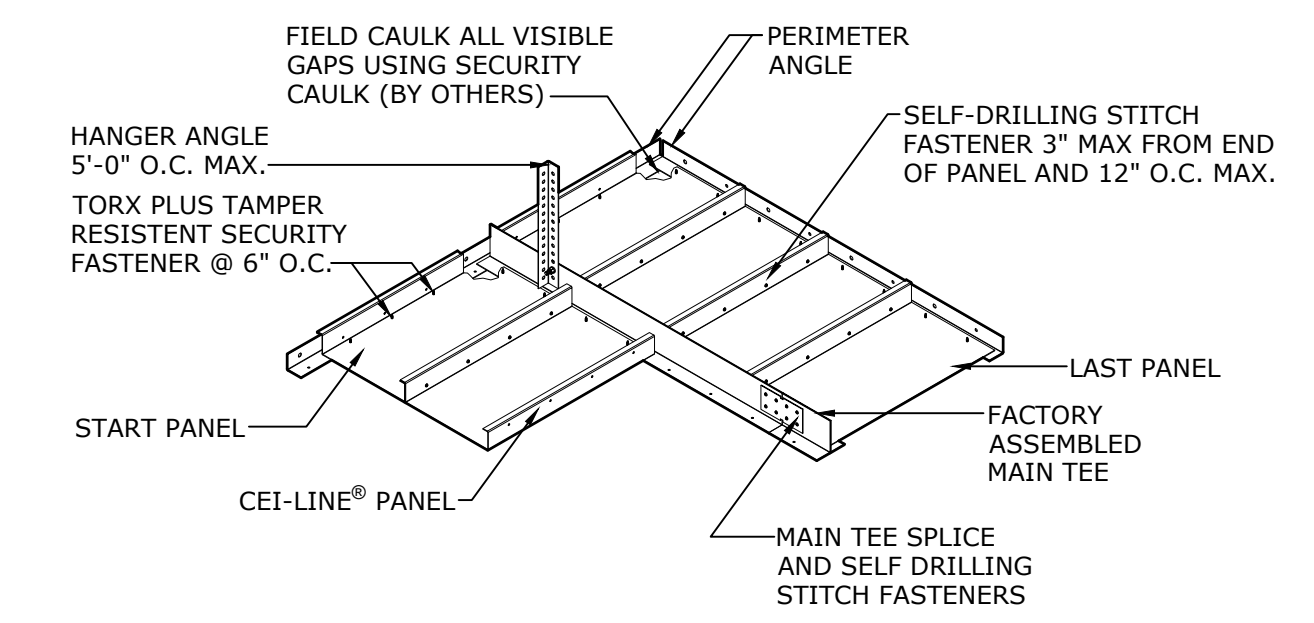


**1 FLOOR PLAN - TYPICAL**  
A-101 SCALE: 1/2" = 1'-0"  
CROSS REFERENCE: 1/AD-101



**2 REFLECTED CEILING PLAN - TYPICAL**  
A-101 SCALE: 1/2" = 1'-0"  
CROSS REFERENCE: 1/A-101

SHOWER ACCESSORY SCHEDULE		
TAG	DESCRIPTION	COMMENTS
A	GRAB BAR - 18"	VERTICAL - 1 1/2" DIAMETER - CLOSURE PLATE, REFER TO SPEC 102800
B	TWO-WALL GRAB BAR - 36" x 18"	HORIZONTAL - 1 1/2" DIAMETER - CLOSURE PLATE, REFER TO SPEC 102800
C	ADA SHOWER SEAT	17" - 19" A.F.F., REFER TO SPEC 102800
D	WALL SHOWER	LIGATURE RESISTANT, 2 SHOWER HEAD WITH RECESSED SOAP DISH, REFER TO SPEC 102800
E	WALL MOUNTED SHELF W/ 4 TAMPER-RESISTANT HOOKS	LIGATURE RESISTANT, 4 TAMPER RESISTANT HOOKS, REFER TO SPEC 102800
F	SECURITY MIRROR	MODEL DFSML1 STAINLESS STEEL POLISHED SURFACE 11.25"x17.25"x0.25", SECURITY MOUNTING SCREWS, REFER TO SPEC 102800



**3 CEILING DETAIL**  
A-101 SCALE: 1/2" = 1'-0"  
CROSS REFERENCE: 2/A-101

**SHOWER PARTITION & ACCESSORY NOTES**

- WHERE GRAB BARS ARE SHOWN AT ACCESSIBLE PLUMBING FIXTURES, PROVIDE QUANTITY, SIZE AND HEIGHT LOCATIONS INDICATED IN ACCESSIBLE PLUMBING FIXTURE DETAILS, SHEET G-002.
- EXISTING SHOWER PARTITIONS ARE SHOWN FOR CONTEXT. EXISTING PARTITION HEIGHTS, CLEARANCES AND HARDWARE MAY VARY BASED ON LOCATION.
- ACCESSIBILITY TO BE PROVIDED TO THE GREATEST EXTENT POSSIBLE. EXISTING CONDITIONS DO NOT ALLOW FOR FULL COMPLIANCE.

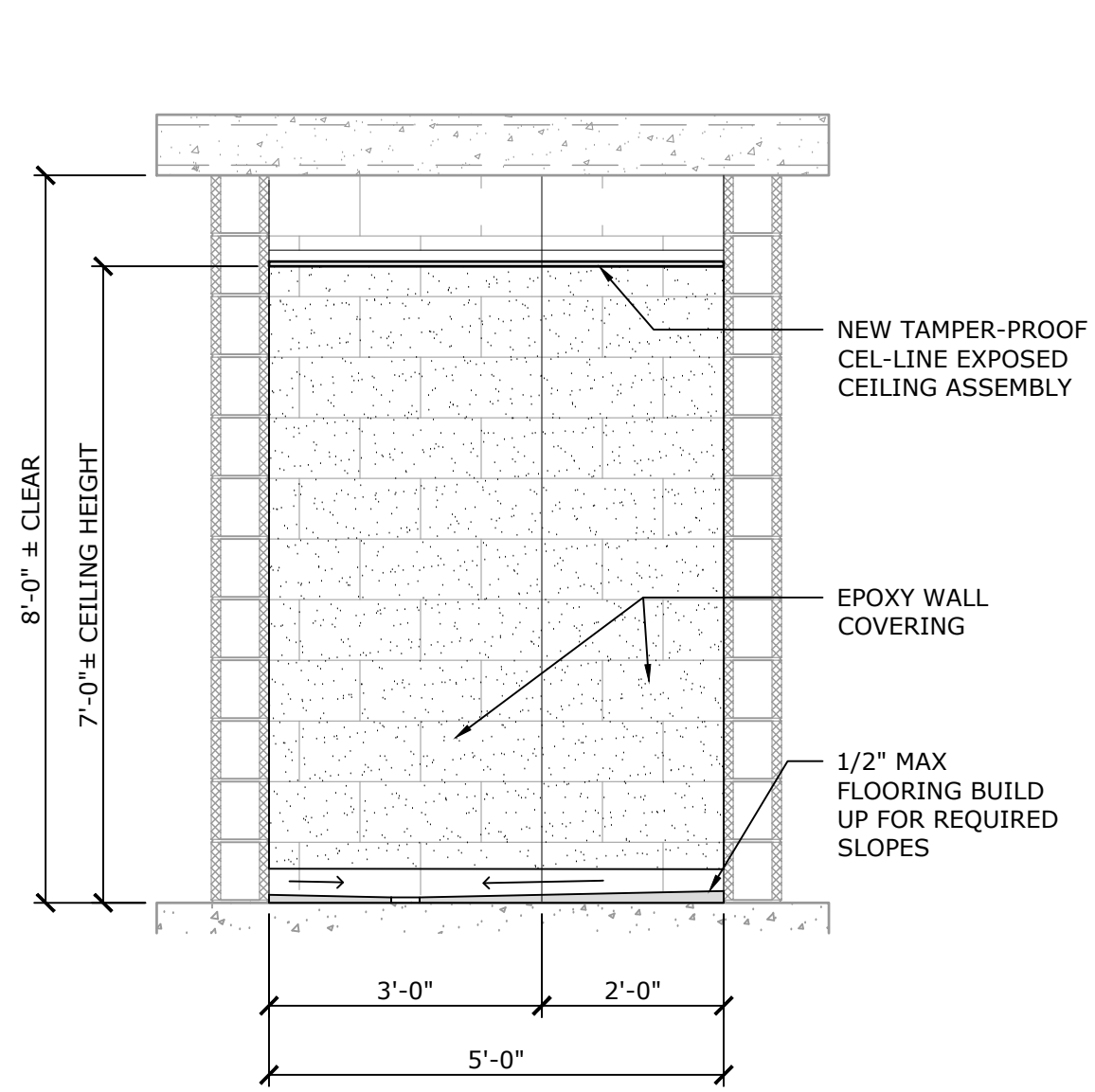
**SHOWER ACCESSORY NOTES**

- REFERENCE PLANS FOR LOCATIONS OF ACCESSIBLE FIXTURES. SEE CODE COMPLIANT STANDARD DETAILS FOR LOCATIONS AND DIMENSIONS NOT SHOWN.
- ALL DETAILS SHALL CONFORM TO ICC/ANSI A117.1-2009.
- COAT HOOKS PROVIDED WITHIN TOILET ROOMS SHALL BE PROVIDED IN ACCORDANCE WITH ICC/ANSI 117.1-SECTION 603.4 TO ACCOMMODATE AN UNOBSTRUCTED FORWARD AND SIDE REACH OF 48" MAX. AND 15" MIN. ABOVE THE FLOOR IN ACCORDANCE WITH ICC/ANSI 117.1-SECTION 308.
- OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 LBS. MAX. IN ACCORDANCE WITH ICC/ANSI A117.1-SECTION 309.4.
- OPERABLE PARTS ON TOWEL DISPENSERS AND HAND DRYERS SHALL COMPLY WITH ICC/ANSI 117.1 TABLE 606.7 MAXIMUM REACH DEPTH AND HEIGHT:
 

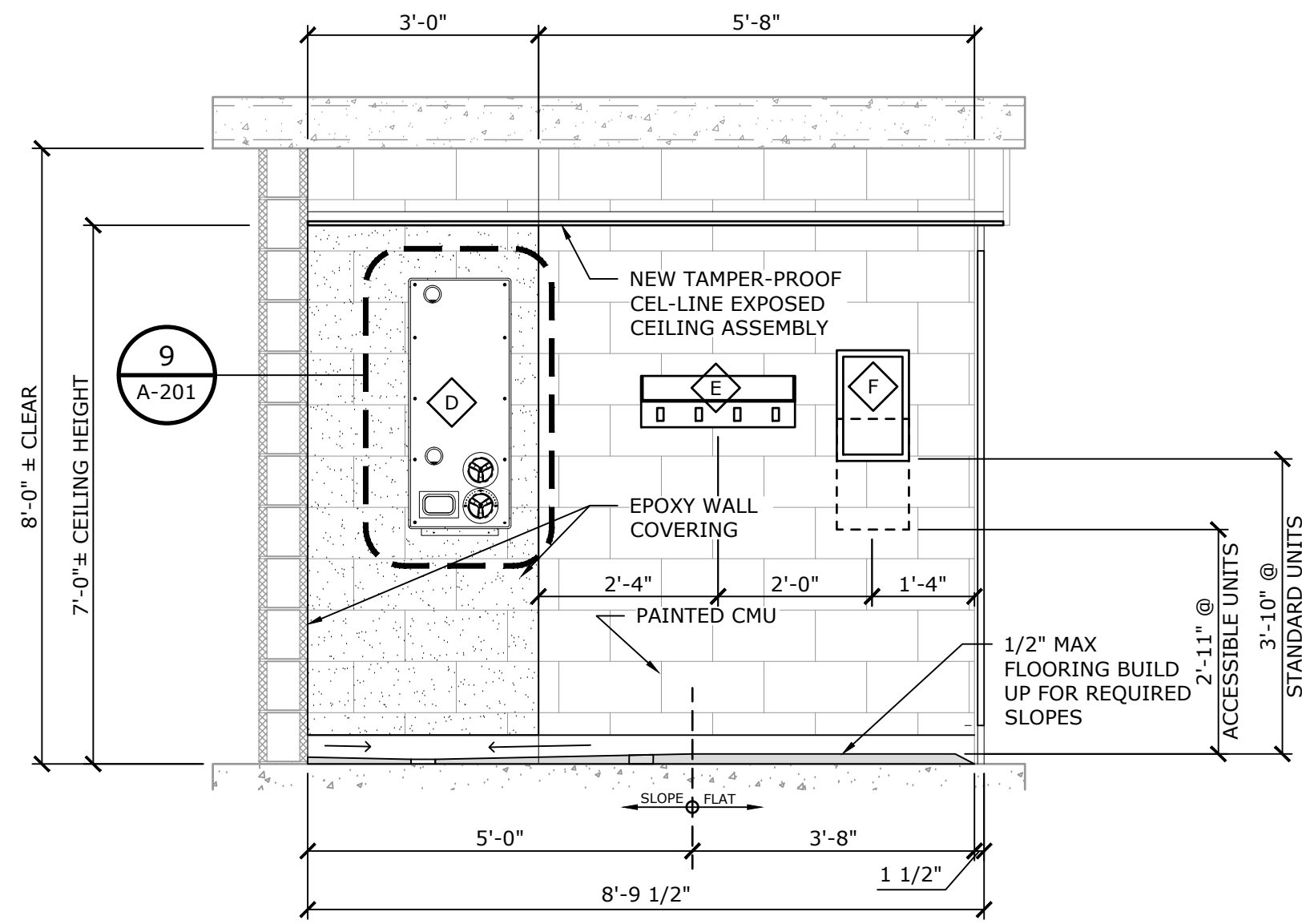
MAX. REACH DEPTH:	.05"	2"	5"	6"	9"	11"
MAX. REACH HEIGHT:	48"	46"	42"	40"	36"	34"
- WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORY AND SINKS IN ACCORDANCE WITH ICC/ANSI 117.1-SECTION 606.6.
- ACCESSIBLE ROUTES SHALL BE BY HARD, FIRM AND SLIP RESISTANT SURFACES AND SHALL HAVE SLOPES OF LESS THAN 1:20.
- MIRRORS LOCATED ABOVE LAVATORIES, SINKS OR COUNTERS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAX. A.F.F. MIRRORS NOT LOCATED ABOVE LAVATORIES, SINKS OR COUNTERS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 35" MAX. A.F.F. IN ACCORDANCE WITH ICC/ANSI A117.1-SECTION 603.3.
- TOILET PAPER DISPENSERS THAT ARE TO MEET ADA CODES SHALL NOT HAVE ANY TYPE OF CONTROLLED DELIVERY.
- GRAB BAR STRUCTURAL STRENGTH: ALLOWABLE STRESSES IN SHALL NOT BE EXCEEDED FOR MATERIALS USED WHERE A VERTICAL OR HORIZONTAL FORCE OF 250 LB. IS APPLIED AT ANY POINT ON THE GRAB BAR, FASTENER MOUNTING DEVICE, OR SUPPORTING STRUCTURE IN ACCORDANCE WITH ICC/ANSI A117.1-SECTION 609.8.
- ALL SHOWER ACCESSORIES TO BE INSTALLED WITH TAMPER RESISTANT HARDWARE.

NICHOLAS M. LOBOSCO R.A. NO. 034280	DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.  © 2024 C.T. MALE ASSOCIATES DESIGNED: NML DRAFTED: SN CHECKED: NML PROJ. NO : 23.3592 SCALE : AS NOTED DATE : 4/24/24	<b>SHOWER FLOOR PLANS</b>  <b>MONTGOMERY COUNTY PUBLIC SAFETY FACILITY</b> <b>SHOWER RENOVATIONS</b>  TOWN OF GLEN MONTGOMERY COUNTY, NEW YORK  <b>C.T. MALE ASSOCIATES</b> Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C. 50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH: 518.786.7400 GLENS FALLS, NY • JOHNSTOWN, NY • POUGHKEEPSIE, NY • SYRACUSE, NY www.ctmale.com

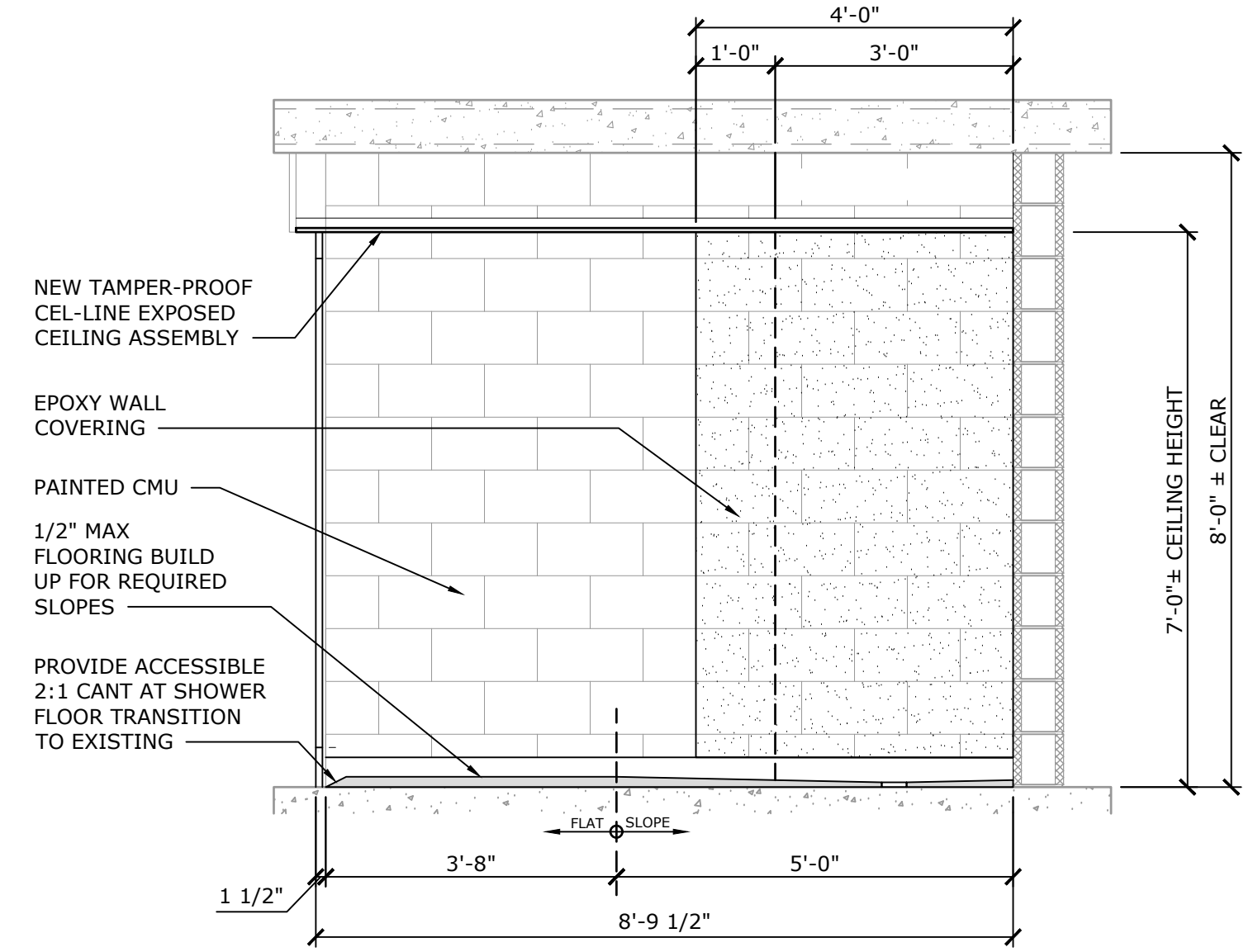
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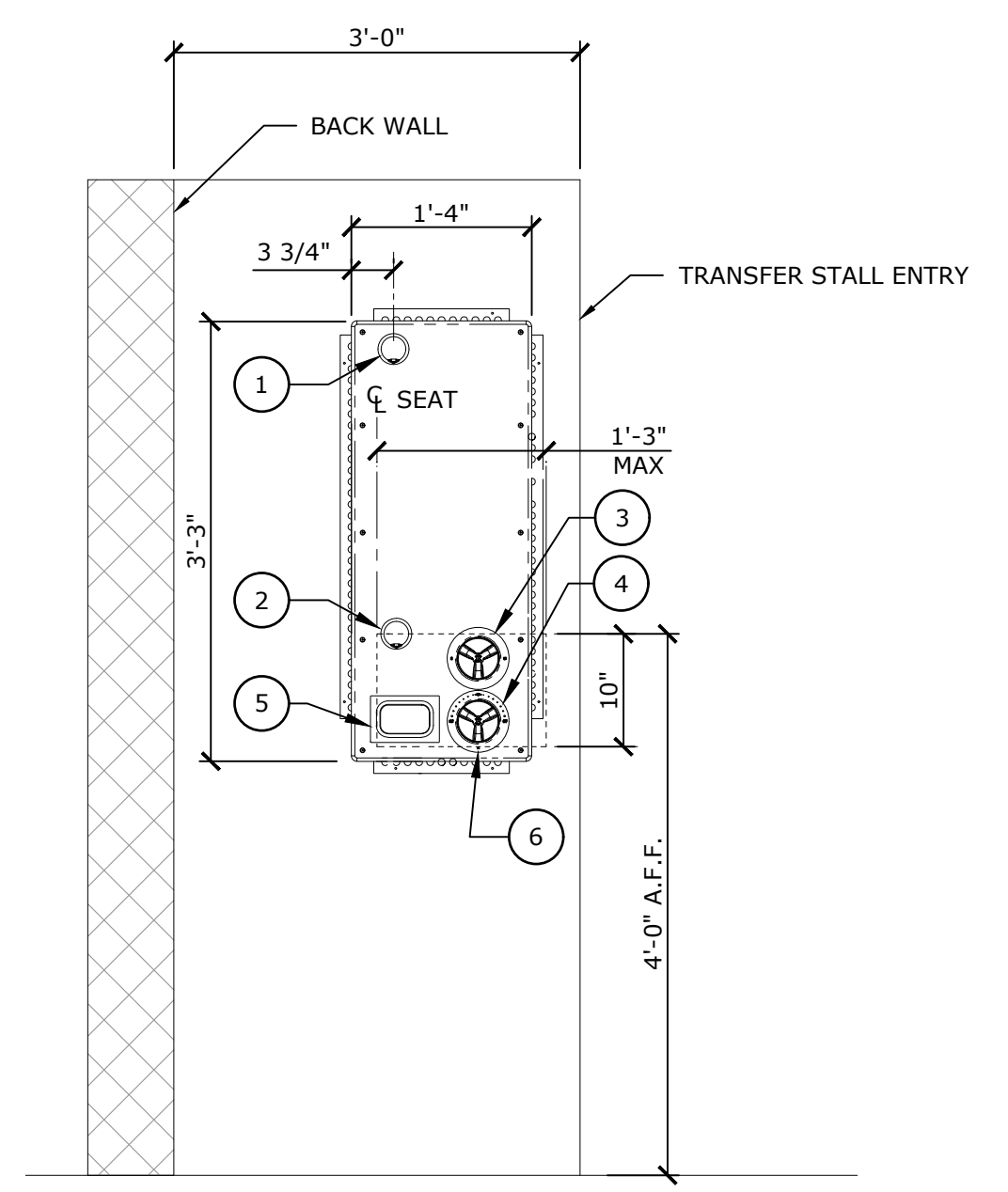
**1 ELEVATION**  
 A-201  
 SCALE: 1/2" = 1'-0"  
 CROSS REFERENCE: 1/A-101  
**NOTE:**  
 FOR ADA/ANSI COMPLAINT SHOWER STALL ELEVATIONS INCLUDING MOUNTING HEIGHTS, CLEAR FLOOR AREAS ETC, REFER TO G-002



**2 ELEVATION**  
 A-201  
 SCALE: 1/2" = 1'-0"  
 CROSS REFERENCE: 1/A-101  
**NOTE:**  
 FOR ADA/ANSI COMPLAINT SHOWER STALL ELEVATIONS INCLUDING MOUNTING HEIGHTS, CLEAR FLOOR AREAS ETC, REFER TO G-002



**3 ELEVATION**  
 A-201  
 SCALE: 1/2" = 1'-0"  
 CROSS REFERENCE: 1/A-101  
**NOTE:**  
 FOR ADA/ANSI COMPLAINT SHOWER STALL ELEVATIONS INCLUDING MOUNTING HEIGHTS, CLEAR FLOOR AREAS ETC, REFER TO G-002



- NOTES:**
- ① CONICAL SHOWER HEAD WITH SWIVEL ADJUSTMENT: CSHS SERIES AT 72" DISCHARGE
  - ② CONICAL SHOWER HEAD WITH SWIVEL ADJUSTMENT: CSHS SERIES AT 48" DISCHARGE MAX.
  - ③ DIVERTER VALVE: WHDIV WITH TRI-LEVER HANDLE.
  - ④ CONTROL VALVE: WHSV16 MIXING VALVE WITH TRI-LEVER HANDLE.
  - ⑤ RECESSED SOAP DISH: WH1832 SERIES.
  - ⑥ CONTROL AREA: ADA/CBC STANDARD TRANSFER STALL TYPE SHOWN.

**4 FRONT VIEW TRANSFER TYPE COMPARTMENT DETAIL**  
 A-201  
 SCALE: 3/4" = 1'-0"  
 CROSS REFERENCE: 1/A-201

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**NICHOLAS M. LOBOSCO**  
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